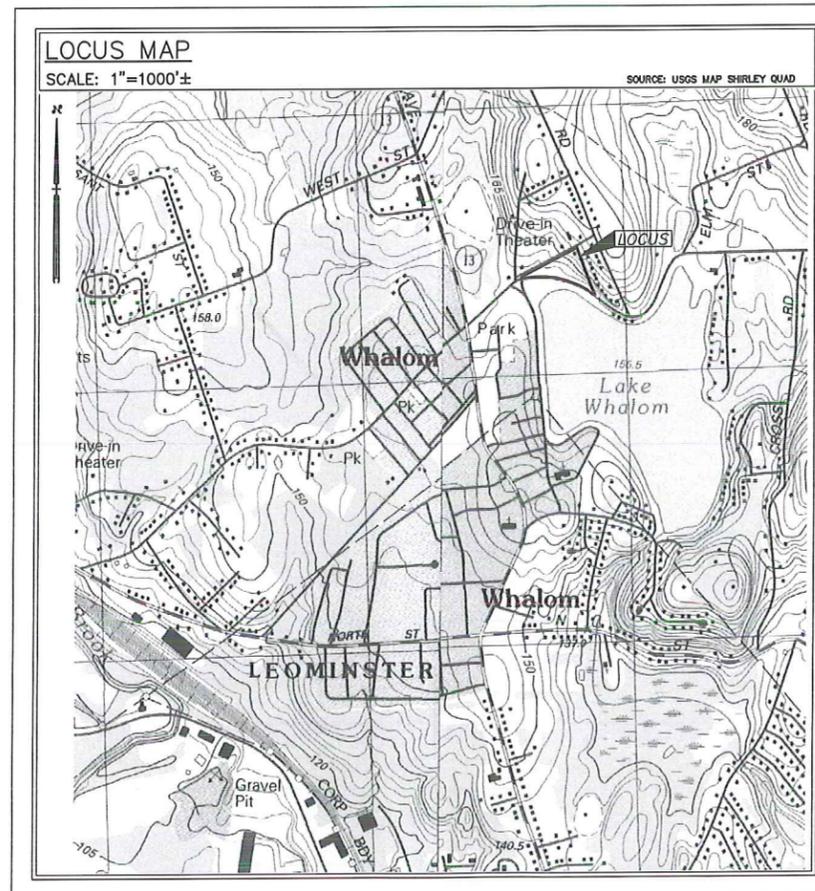


# PROPOSED RESIDENTIAL DEVELOPMENT PLAN

AT

## 274 PROSPECT STREET LUNENBURG, MASSACHUSETTS

JULY 13, 2015



RECEIVED  
DEC - 8 2015  
Planning Department

APPROVAL UNDER  
SITE PLAN  
IS REQUIRED

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

DATE  
TOWN OF LUNENBURG  
PLANNING BOARD

ASSESSOR'S MAP #: 98 PARCEL #: 10

OWNER/APPLICANT  
GREENER LIVING LUXURY HOMES  
811 CHASE ROAD  
LUNENBURG, MASSACHUSETTS 01462

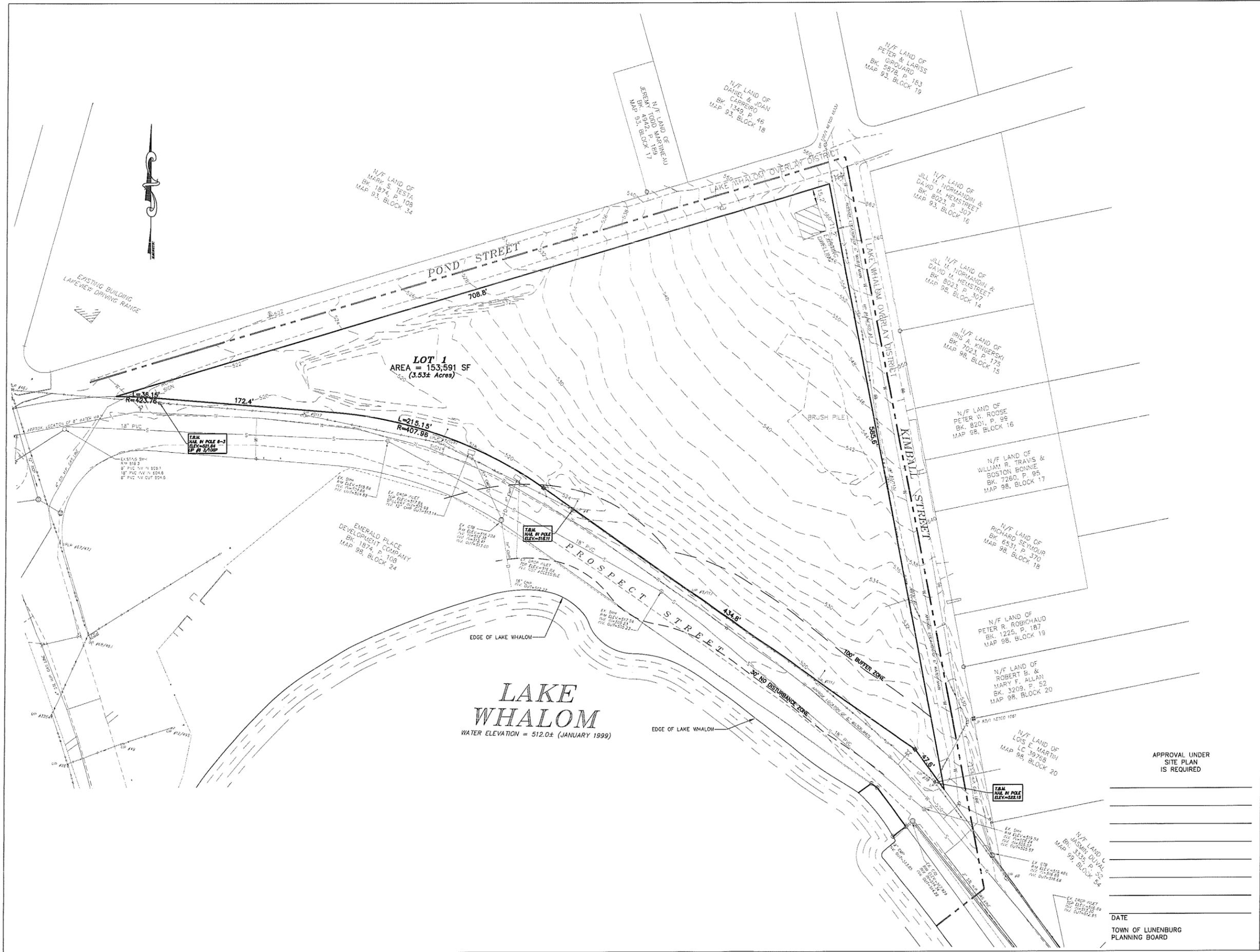
ENGINEER & SURVEYOR  
WHITMAN & BINGHAM ASSOCIATES, LLC.  
510 MECHANIC STREET  
LEOMINSTER, MA 01453  
TEL. (978) 537-5296  
FAX (978) 537-1423



**WHITMAN & BINGHAM**  
ASSOCIATES  
REGISTERED ENGINEERS & LAND SURVEYORS  
510 MECHANIC STREET  
LEOMINSTER, MASSACHUSETTS 01453  
TEL. (978) 537-5296  
FAX. (978) 537-1423

NO.	DATE	DESCRIPTION
3	12/7/15	2, 3, 4, 5, 6, 7, 8 & 9
2	9/23/15	2, 3, 6, 7, 8 & 10
1	8/18/15	ALL SHEETS

PLAN INDEX	
EXISTING CONDITIONS PLAN	1
GRADING AND DRAINAGE PLAN	2
SITE UTILITIES PLAN	3
LAYOUT AND MATERIALS PLAN	4
LANDSCAPE PLAN	5
EROSION CONTROL PLAN	6
CONSTRUCTION NOTES	7
CONSTRUCTION DETAILS	8 - 10

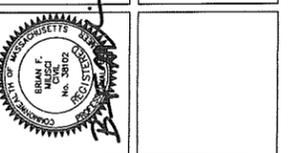


CHECKED BY:	BFM
DRAWN BY:	MFP
DATE:	7/13/15
SHEET NUMBER:	1 OF 10
SCALE:	1"=40'
JOB NUMBER:	13334
PLAN NUMBER:	30-D-40
FIELD BOOK REF(S):	BY OTHERS

NO.	DESCRIPTION	DATE	BY
1	PER ENGINEERING REVIEW COMMENTS	8/18/15	MFP

**EXISTING CONDITIONS PLAN**  
 OFF  
**274 PROSPECT STREET**  
 IN  
**LUNENBURG, MA**

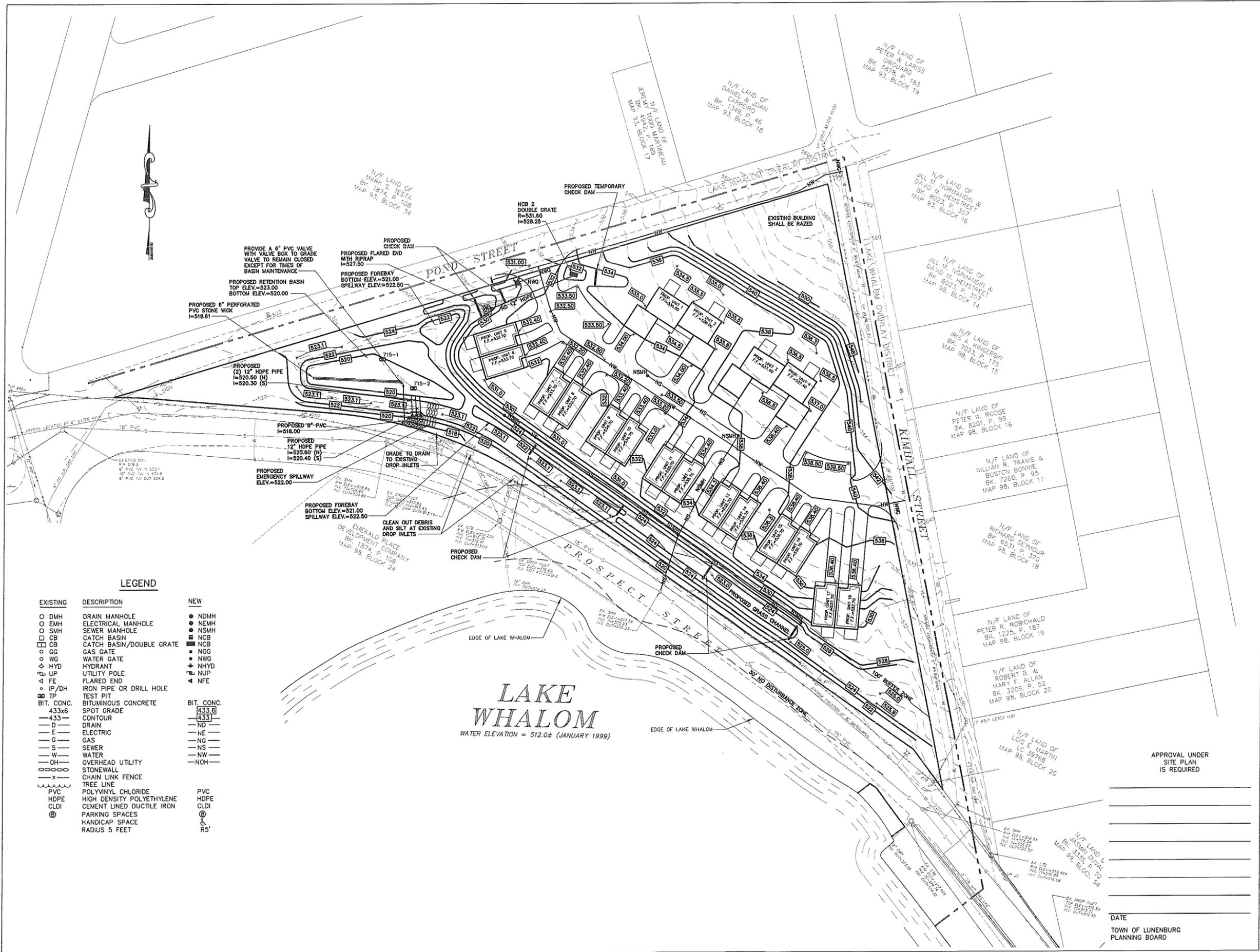
PREPARED FOR:  
**GREENER LIVING LUXURY HOMES**  
 811 CHASE ROAD  
 LUNENBURG, MA 01462



**WHITMAN & BINGHAM**  
 ASSOCIATES  
 REGISTERED ENGINEERS & LAND SURVEYORS  
 510 BAYVIEW STREET  
 LUNENBURG, MASSACHUSETTS 01462  
 TEL: 978-55-6296  
 FAX: 978-55-1423

APPROVAL UNDER SITE PLAN IS REQUIRED

DATE \_\_\_\_\_  
 TOWN OF LUNENBURG PLANNING BOARD



**LEGEND**

EXISTING	DESCRIPTION	NEW
○	DMH DRAIN MANHOLE	●
○	EMH ELECTRICAL MANHOLE	●
○	SMH SEWER MANHOLE	●
□	CB CATCH BASIN	■
□	CB CATCH BASIN/DOUBLE GRATE	■
○	GG GAS GATE	●
○	WG WATER GATE	●
○	HYD HYDRANT	●
○	UP UTILITY POLE	●
△	FE FLARED END	●
○	IP/DH IRON PIPE OR DRILL HOLE	●
□	TP TEST PIT	●
—	BIT. CONC. BITUMINOUS CONCRETE	—
—	433x6 SPOT GRADE	—
—	433 CONTOUR	—
—	D DRAIN	—
—	E ELECTRIC	—
—	G GAS	—
—	S SEWER	—
—	W WATER	—
—	OH OVERHEAD UTILITY	—
—	STONEWALL	—
—	X CHAIN LINK FENCE	—
—	TREE LINE	—
—	PVC POLYVINYL CHLORIDE	—
—	HDPE HIGH DENSITY POLYETHYLENE	—
—	CLDI CEMENT LINED DUCTILE IRON	—
—	PARKING SPACES	—
—	HANDICAP SPACE	—
—	RADIUS 5 FEET	—

**LAKE WHALOM**  
 WATER ELEVATION = 512.0± (JANUARY 1999)

CHECKED BY:	BFM
DRAWN BY:	MFP
DATE:	7/13/15
SHEET NUMBER:	2 OF 10
COMPS:	9087
PLAN REF(S):	BY OTHERS
SCALE:	1"=40'
JOB NUMBER:	13334
PLAN NUMBER:	30-D-40
FIELD BOOK REF(S):	BY OTHERS

NO.	DESCRIPTION	DATE	BY
3	PER PLANNING BOARD COMMENTS	12/7/15	MFP
2	PER ENGINEERING REVIEW COMMENTS	9/23/15	MFP
1	PER ENGINEERING REVIEW COMMENTS	8/18/15	MFP

**GRADING AND DRAINAGE PLAN**  
 OFF  
**274 PROSPECT STREET**  
 IN  
**LUNENBURG, MA**

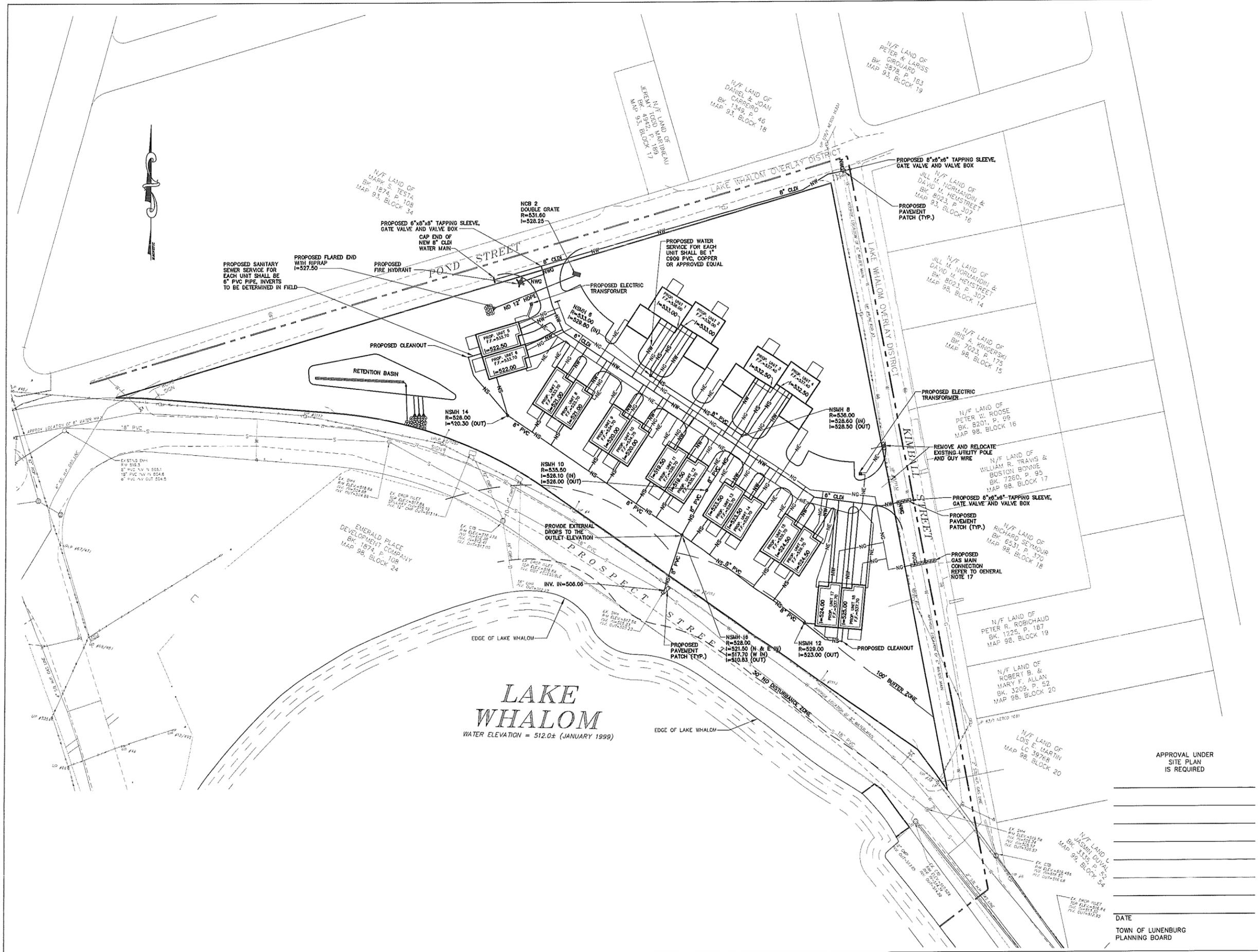
PREPARED FOR:  
**GREENER LIVING LUXURY HOMES**  
 811 CHASE ROAD  
 LUNENBURG, MA 01462



**WHITMAN & BINGHAM**  
 ASSOCIATES  
 REGISTERED ENGINEERS & LAND SURVEYORS  
 510 MECHANIC STREET  
 LUNENBURG, MASSACHUSETTS 01463  
 TEL: (978) 555-5588  
 FAX: (978) 555-1423

APPROVAL UNDER  
 SITE PLAN  
 IS REQUIRED

DATE  
 TOWN OF LUNENBURG  
 PLANNING BOARD



**LAKE WHALOM**  
WATER ELEVATION = 512.0± (JANUARY 1999)

APPROVAL UNDER  
SITE PLAN  
IS REQUIRED

DATE \_\_\_\_\_

TOWN OF LUNENBURG  
PLANNING BOARD

CHECKED BY:	BFM
DRAWN BY:	MFP
DATE:	7/13/15
SHEET NUMBER:	3 OF 10
JOB NUMBER:	13334
PLAN NUMBER:	30-D-40
FIELD BOOK REF(S):	BY OTHERS

NO.	DESCRIPTION	DATE	BY
3	PER PLANNING BOARD COMMENTS	12/7/15	MFP
2	PER ENGINEERING REVIEW COMMENTS	9/23/15	MFP
1	PER ENGINEERING REVIEW COMMENTS	8/18/15	MFP

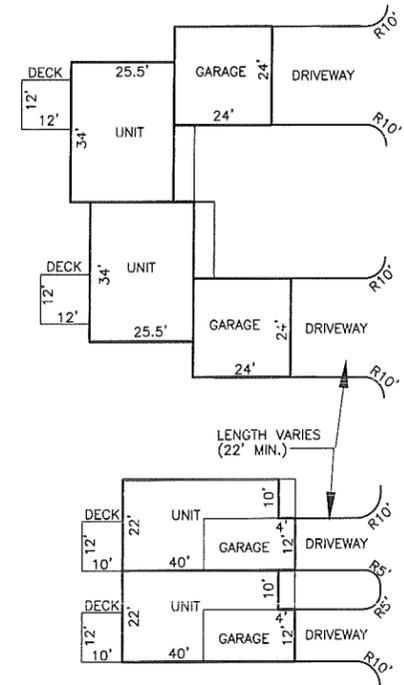
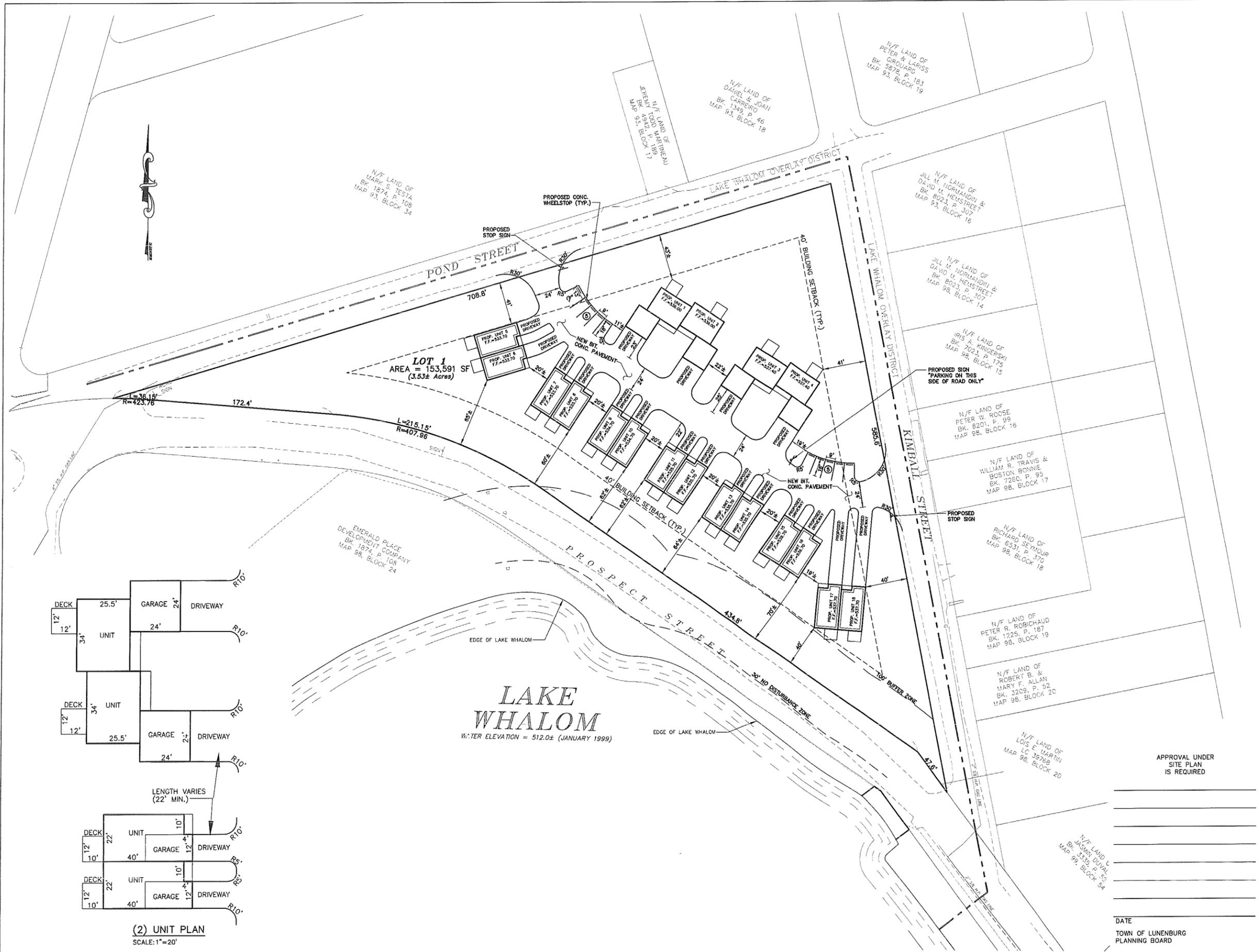
**SITE UTILITIES PLAN**  
OFF  
**274 PROSPECT STREET**  
IN  
**LUNENBURG, MA**

PREPARED FOR:  
**GREENER LIVING LUXURY HOMES**  
811 CHASE ROAD  
LUNENBURG, MA 01462



**WHITMAN & BINGHAM**  
ASSOCIATES  
REGISTERED ENGINEERS & LAND SURVEYORS

50 MECHANIC STREET  
LUNENBURG, MA 01462  
TEL: (978) 552-5286  
FAX: (978) 552-1423

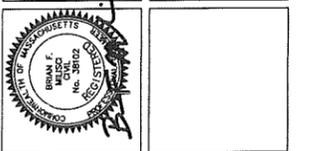


CHECKED BY:	BFM
DRAWN BY:	MFP
DATE:	10/21/15
SHEET NUMBER:	4 OF 10
JOB NUMBER:	13334
PLAN NUMBER:	30-D-40
FIELD BOOK REF(S):	BY OTHERS

NO.	DESCRIPTION	DATE	BY
2	PER PLANNING BOARD COMMENTS	12/7/15	MFP
1	PER ENGINEERING REVIEW COMMENTS	8/18/15	MFP

**LAYOUT AND MATERIALS PLAN**  
OFF  
**274 PROSPECT STREET**  
IN  
**LUNENBURG, MA**

PREPARED FOR:  
**GREENER LIVING LUXURY HOMES**  
811 CHASE ROAD  
LUNENBURG, MA 01462

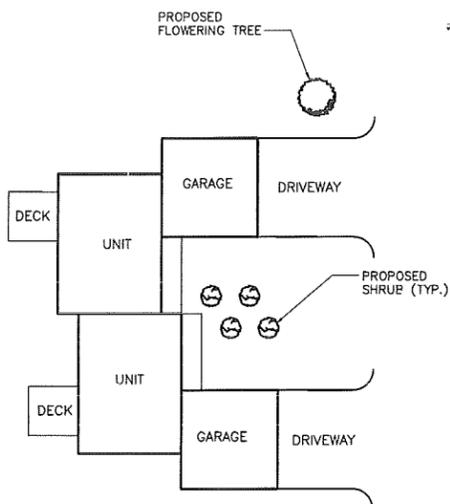


**WHITMAN & BINGHAM**  
ASSOCIATES  
REGISTERED ENGINEERS & LAND SURVEYORS  
10 BIRCHMOUNT STREET  
LUNENBURG, MA 01462  
TEL: (603) 557-5286  
FAX: (603) 557-1423

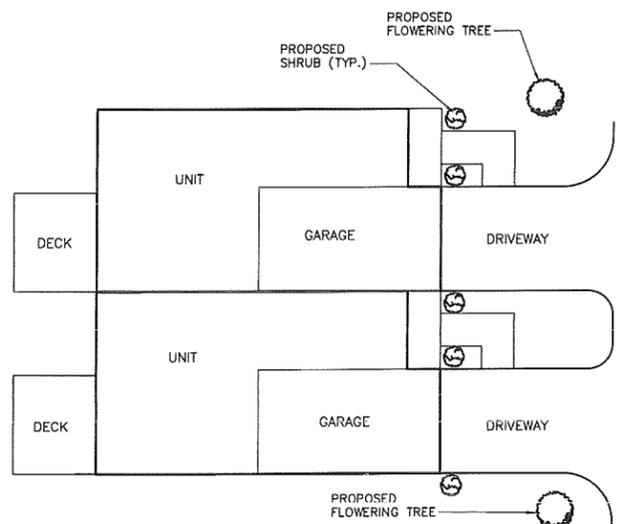
APPROVAL UNDER SITE PLAN IS REQUIRED

DATE \_\_\_\_\_

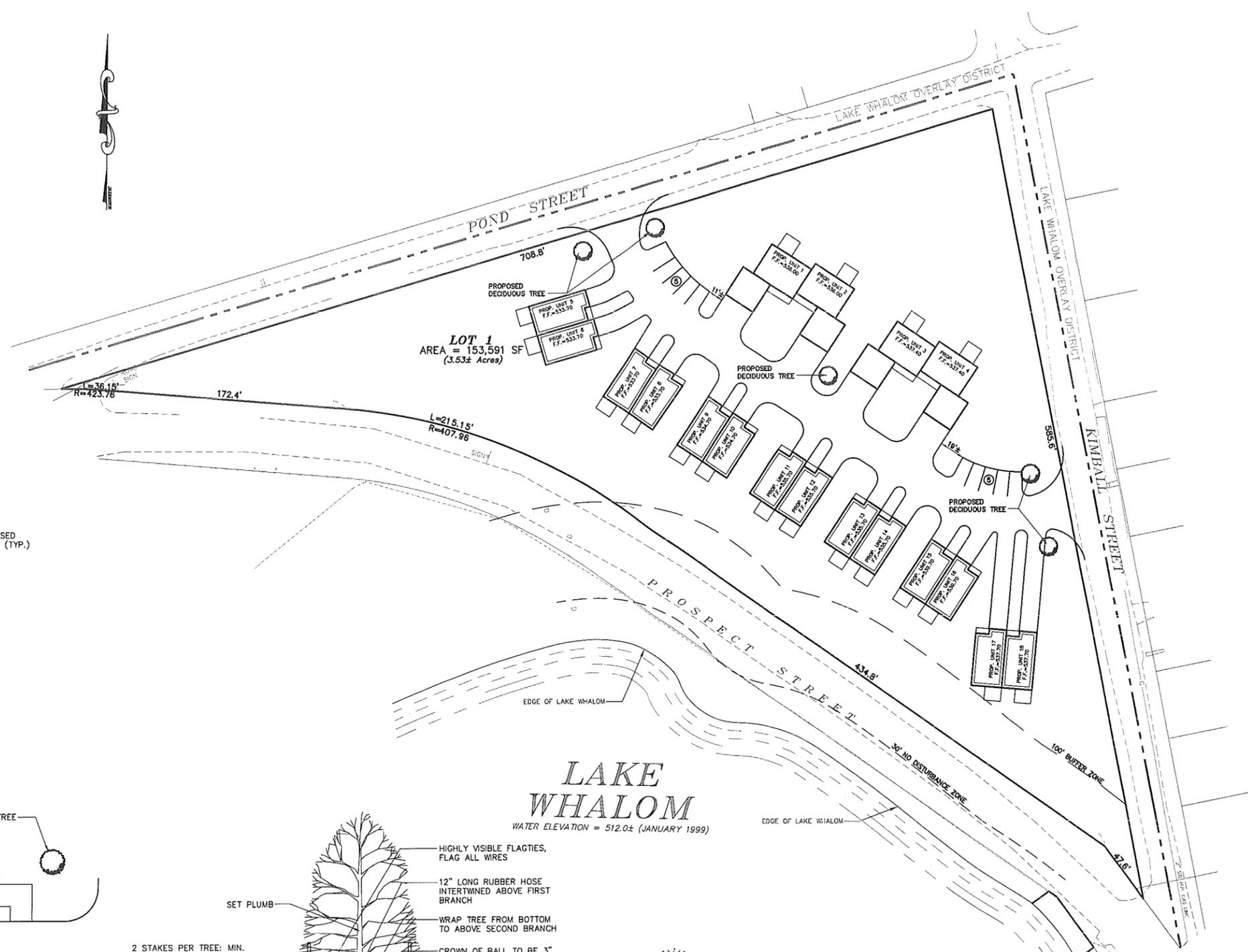
TOWN OF LUNENBURG PLANNING BOARD



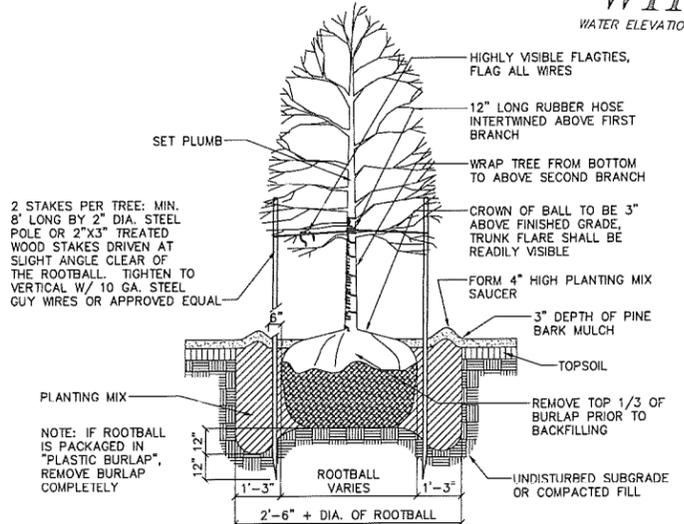
(2) UNIT LANDSCAPE PLAN  
SCALE: 1"=20'



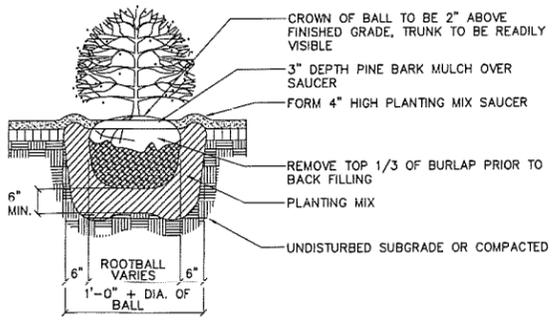
(2) UNIT LANDSCAPE PLAN  
SCALE: 1"=10'



**LAKE WHALOM**  
WATER ELEVATION = 512.0± (JANUARY 1999)



DECIDUOUS TREE PLANTING  
NOT TO SCALE



SHRUB PLANTING DETAIL  
NOT TO SCALE

APPROVAL UNDER SITE PLAN IS REQUIRED

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

DATE

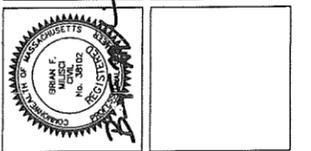
TOWN OF LUNENBURG PLANNING BOARD

CHECKED BY:	BFM
DRAWN BY:	MFP
DATE:	7/13/15
SHEET NUMBER:	5 OF 10
JOB NUMBER:	13334
PLAN NUMBER:	30-D-40
FIELD BOOK REF(S):	BY OTHERS

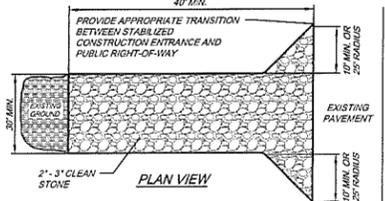
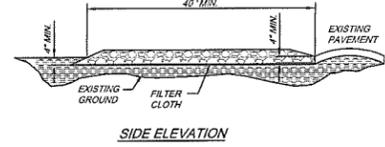
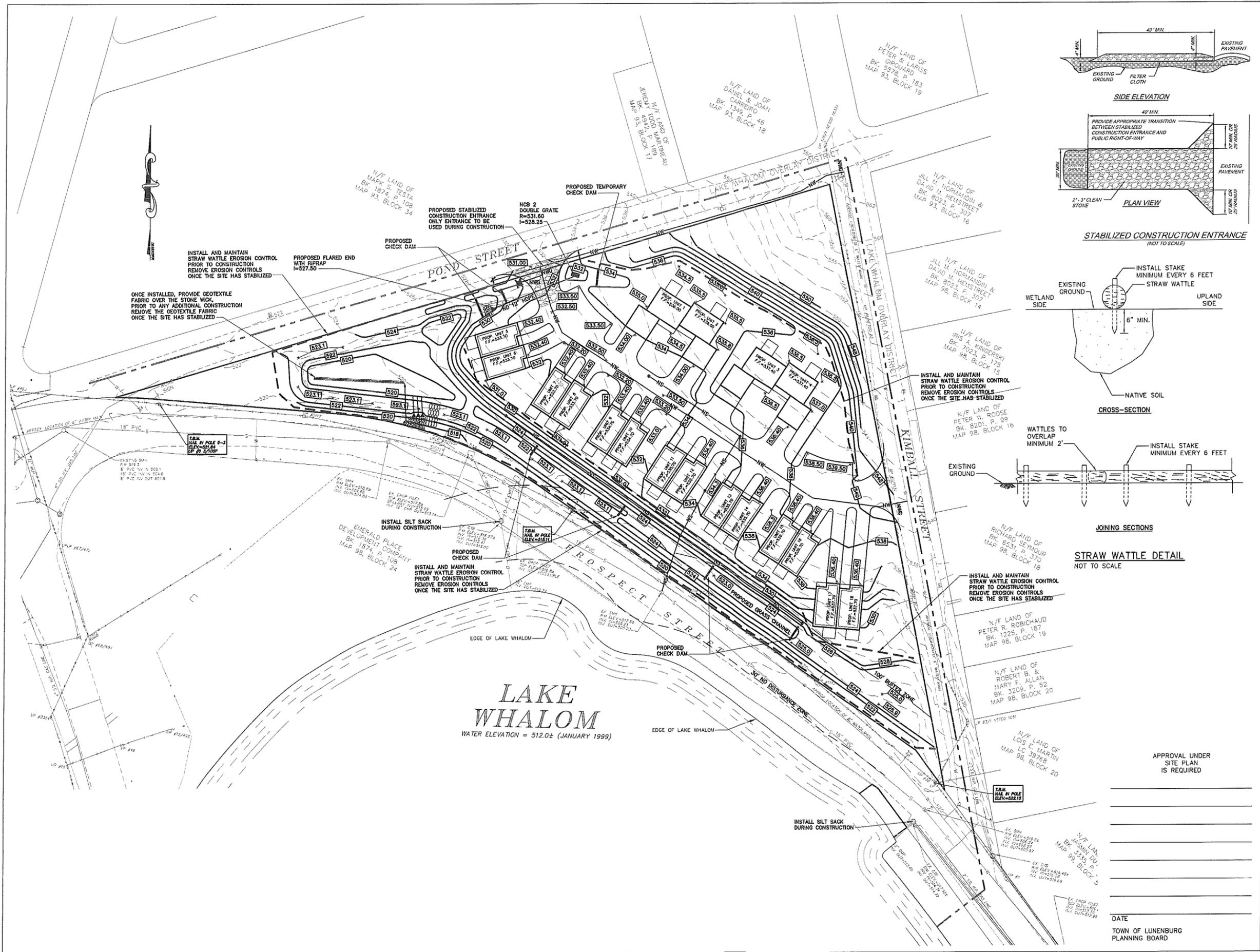
NO.	DESCRIPTION	DATE	BY
2	PER PLANNING BOARD COMMENTS	12/7/15	MFP
1	PER ENGINEERING REVIEW COMMENTS	8/18/15	MFP

LANDSCAPE PLAN  
OFF  
274 PROSPECT STREET  
IN  
LUNENBURG, MA

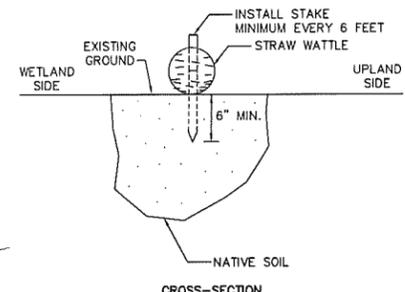
PREPARED FOR:  
GREENER LIVING LUXURY HOMES  
811 CHASE ROAD  
LUNENBURG, MA 01462



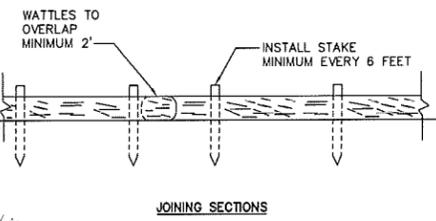
**WHITMAN & BINGHAM**  
ASSOCIATES  
REGISTERED ENGINEERS & LAND SURVEYORS  
510 MECHANIC STREET  
LUNENBURG, MA 01462  
TEL: (617) 552-5288  
FAX: (617) 552-1423



STABILIZED CONSTRUCTION ENTRANCE  
(NOT TO SCALE)



CROSS-SECTION



JOINING SECTIONS

STRAW WATTLE DETAIL  
NOT TO SCALE

APPROVAL UNDER  
SITE PLAN  
IS REQUIRED

DATE  
TOWN OF LUNENBURG  
PLANNING BOARD

CHECKED BY:	BFM
SCALE:	1"=40'
DATE:	7/13/15
SHEET NUMBER:	6 OF 10
JOB NUMBER:	13334
PLAN NUMBER:	30-D-40
COMPS:	9087
PLAN REF(S):	BY OTHERS
FIELD BOOK REF(S):	BY OTHERS

REVISIONS	DATE	DESCRIPTION
3	PER PLANNING BOARD COMMENTS	12/7/15
2	PER ENGINEERING REVIEW COMMENTS	9/23/15
1	PER ENGINEERING REVIEW COMMENTS	8/18/15
NO.		

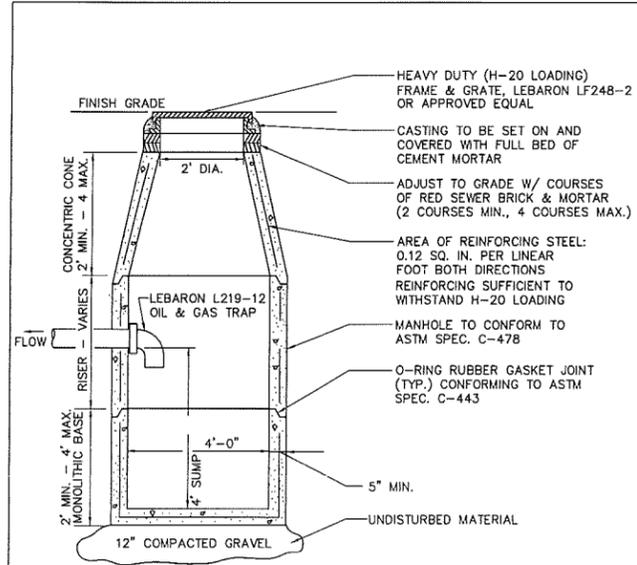
**EROSION CONTROL PLAN**  
OFF  
**274 PROSPECT STREET**  
IN  
**LUNENBURG, MA**

PREPARED FOR:  
**GREENER LIVING LUXURY HOMES**  
**811 CHASE ROAD**  
**LUNENBURG, MA 01462**



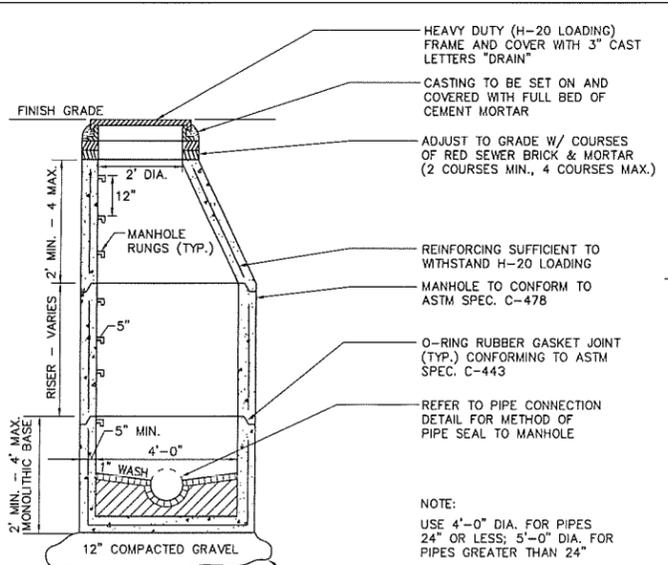
**WHITMAN & BINGHAM**  
ASSOCIATES  
REGISTERED ENGINEERS & LAND SURVEYORS  
430 BUCKINGHAM STREET  
LUNENBURG, MA 01450  
TEL: (978) 451-5296  
FAX: (978) 451-1423





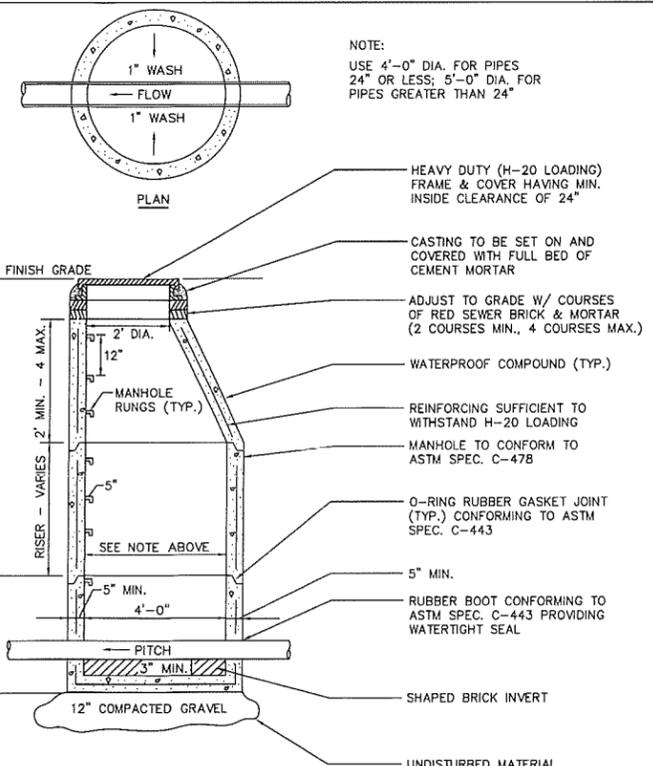
**PRECAST CATCH BASIN**

NOT TO SCALE



**PRECAST DRAIN MANHOLE**

NOT TO SCALE

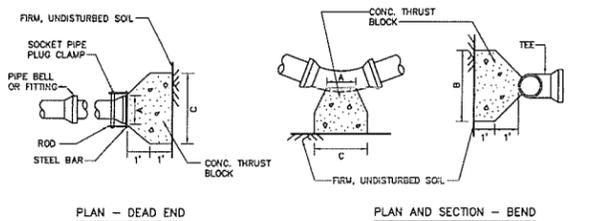


**PRECAST SEWER MANHOLE**

NOT TO SCALE

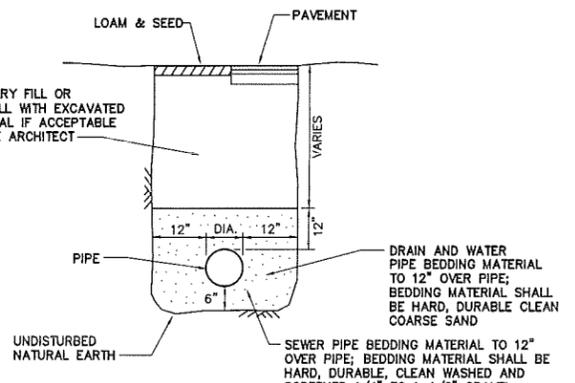
- NOTES:**
- PROVIDE CONCRETE THRUST BLOCKS AT ALL BENDS, DEAD ENDS & TEES UNLESS OTHERWISE DIRECTED. CONCRETE FOR ALL THRUST BLOCKS SHALL BE PLACED AGAINST FIRM, UNDISTURBED SOIL. PROVIDE APPROVED ANCHOR HARNESS RODS & SOCKET CLAMPS AS SPECIFIED & IN ACCORDANCE WITH PIPE MANUFACTURERS RECOMMENDATIONS WHERE SOIL HAS BEEN DISTURBED OR THRUST BLOCKS CANNOT BE USED, AS DIRECTED BY THE ARCHITECT.
  - ALL SOCKET CLAMP METAL SHALL BE COATED WITH BLACK ASPHALTUM OR OTHER WATER DEPARTMENT APPROVED COATINGS.
  - CONCRETE THRUST BLOCKS POURED BEHIND 3-WAY TEE & HYDRANT SHOE TO BE USED WITH SOCKET CLAMPS.
  - NO CONCRETE SHALL COVER PIPE JOINTS, FITTING JOINTS, BOLTS OR HYDRANT DRAINS.

FITTING	SIZE OF PIPE PRODUCING THRUST											
	12"			10"			8"			6"		
	A	B	C	A	B	C	A	B	C	A	B	C
22-1/2" BEND	1'-0"	2'-0"	2'-0"	1'-0"	1'-0"	2'-0"	1'-0"	1'-0"	2'-0"	1'-0"	1'-0"	2'-0"
45" BEND	1'-0"	3'-0"	3'-0"	1'-0"	2'-0"	2'-0"	1'-0"	2'-0"	2'-0"	1'-0"	2'-0"	2'-0"
90" BEND	1'-0"	4'-0"	4'-0"	1'-0"	3'-0"	3'-0"	1'-0"	3'-0"	3'-0"	1'-0"	3'-0"	3'-0"
12"x12"x4", 10"x10"x4", 8"x8"x4", 4"x4"x4" TEES	1'-0"	4'-0"	4'-0"	1'-0"	3'-0"	3'-0"	1'-0"	3'-0"	3'-0"	1'-0"	3'-0"	3'-0"
12"x12"x6", 10"x10"x6", 8"x8"x6", 6"x6"x6" TEES	1'-6"	4'-0"	4'-0"	1'-6"	3'-0"	3'-0"	1'-6"	3'-0"	3'-0"	1'-6"	2'-0"	2'-0"
12"x12"x8", 10"x10"x8", 8"x8"x8" TEES	1'-6"	4'-0"	4'-0"	1'-6"	3'-0"	3'-0"	1'-6"	3'-0"	3'-0"	1'-6"	2'-0"	2'-0"
12"x12"x10", 10"x10"x10" TEES	2'-0"	4'-0"	4'-0"	2'-0"	3'-0"	3'-0"	2'-0"	3'-0"	3'-0"	2'-0"	2'-0"	2'-0"
12"x12"x12" TEES	2'-0"	4'-0"	4'-0"	2'-0"	3'-0"	3'-0"	2'-0"	3'-0"	3'-0"	2'-0"	2'-0"	2'-0"
PLUGS	2'-0"	4'-0"	4'-0"	2'-0"	3'-0"	3'-0"	1'-6"	3'-0"	3'-0"	1'-6"	2'-0"	2'-0"
HYDRANTS	2'-0"	4'-0"	4'-0"	2'-0"	3'-0"	3'-0"	1'-6"	3'-0"	3'-0"	1'-6"	2'-0"	2'-0"



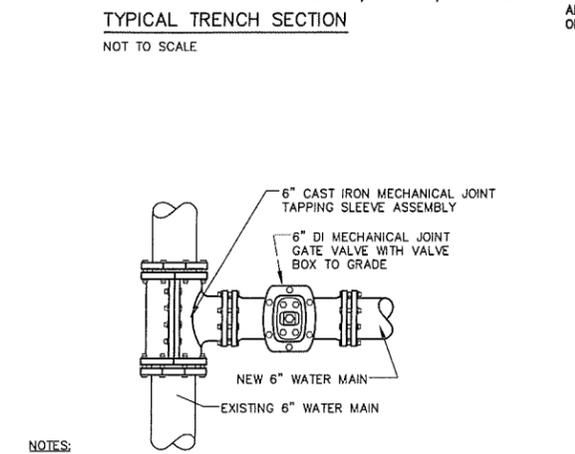
**TYPICAL CONCRETE THRUST BLOCK DETAILS**

NOT TO SCALE



**TYPICAL TRENCH SECTION**

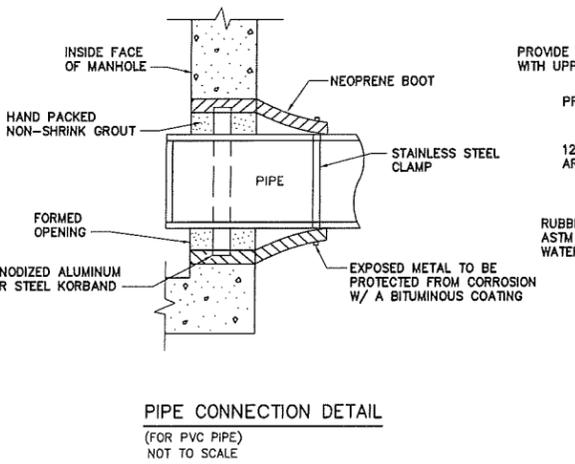
NOT TO SCALE



**WET TAP DETAIL**

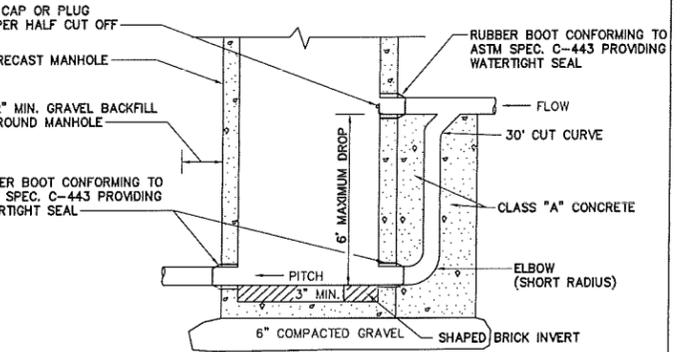
NOT TO SCALE

- NOTES:**
- INSTALL TAPPING SLEEVE, VALVE AND VALVE BOX PER MANUFACTURERS RECOMMENDATIONS.
  - ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE MARLBOROUGH DEPARTMENT OF PUBLIC WORKS REQUIREMENTS.



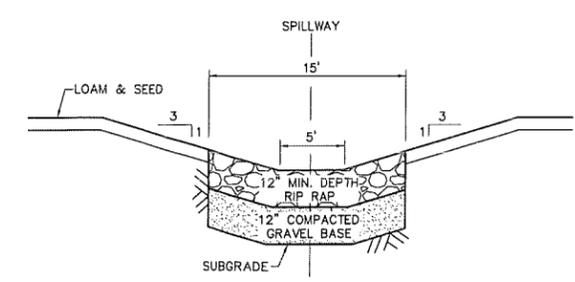
**PIPE CONNECTION DETAIL**

(FOR PVC PIPE) NOT TO SCALE



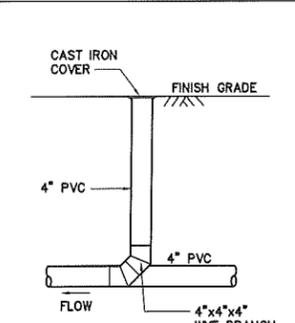
**EXTERNAL DROP MANHOLE**

NOT TO SCALE



**RIP RAP SPILLWAY DETAIL**

NOT TO SCALE



**CLEANOUT DETAIL**

NOT TO SCALE

CHECKED BY:	BFM	SCALE:	AS NOTED	JOB NUMBER:	13334	PLAN NUMBER:	30-D-40	FIELD BOOK REF(S):	BY OTHERS
DRAWN BY:	MFP	DATE:	7/13/15	SHEET NUMBER:	8 OF 10	COMPS:	9087	PLAN REF(S):	BY OTHERS

NO.	DATE	DESCRIPTION
3	12/7/15	PER PLANNING BOARD COMMENTS
2	9/23/15	PER ENGINEERING REVIEW COMMENTS
1	8/18/15	PER ENGINEERING REVIEW COMMENTS
NO.		

**CONSTRUCTION DETAILS #1**  
OFF  
274 PROSPECT STREET  
IN  
LUNENBURG, MA



PREPARED FOR:  
GREENER LIVING LUXURY HOMES  
811 CHASE ROAD  
LUNENBURG, MA 01462

**WHITMAN & BINGHAM**  
ASSOCIATES  
REGISTERED ENGINEERS & LAND SURVEYORS  
SILVERMATIC STREET  
LECOMBTON, MA 01531  
TEL: 978-452-5286  
FAX: 978-557-1422

APPROVAL UNDER SITE PLAN IS REQUIRED

\_\_\_\_\_

\_\_\_\_\_

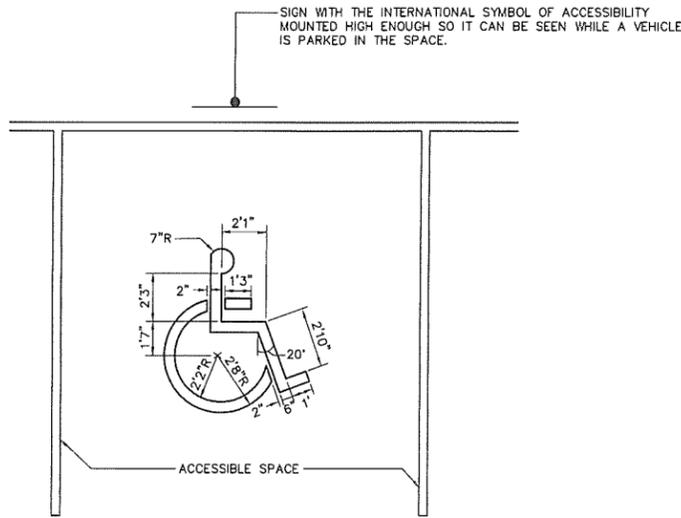
\_\_\_\_\_

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\_\_\_\_\_

DATE

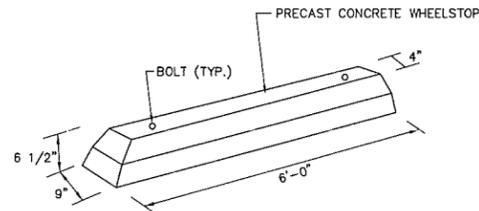
TOWN OF LUNENBURG PLANNING BOARD



SIGN WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY MOUNTED HIGH ENOUGH SO IT CAN BE SEEN WHILE A VEHICLE IS PARKED IN THE SPACE.

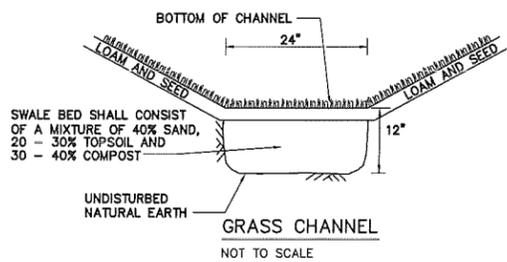
HANDICAP SYMBOL PAINT SHALL CONFORM TO STRIPING PAINT AS SPECIFIED. (SYMBOL SHALL BE CENTERED IN SPACE)

**ACCESSIBLE SPACE AND PAINTED ISLAND DETAIL**  
NOT TO SCALE



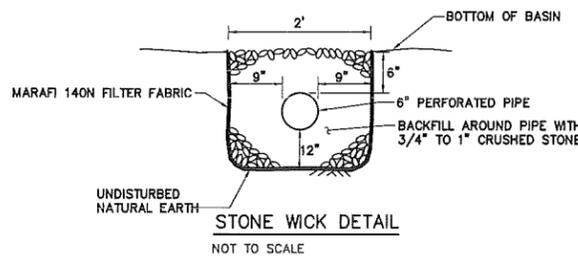
1. Durable 3000 psi concrete.
2. Reinforced with two #3 rebars.
3. Standard 6'-0" length; 5" high; 8" wide
4. Approximate weight: 155 lbs.
5. Two 3/4" diameter thru-holes for anchoring.
6. Tapered side design equalizes pressure down and forward from car wheels to relieve tension on setting pins and stops.
7. Graduated taper on ends relieves danger of cutting tires.

**CONCRETE WHEELSTOP DETAIL**  
NOT TO SCALE

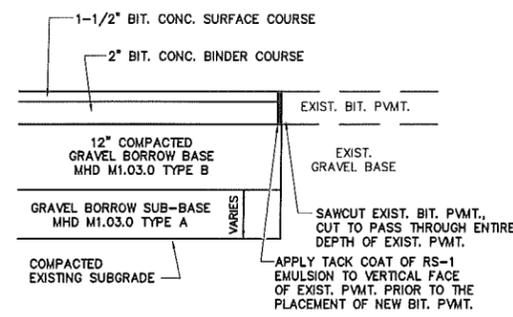


SWALE BED SHALL CONSIST OF A MIXTURE OF 40% SAND, 20 - 30% TOPSOIL AND 30 - 40% COMPOST

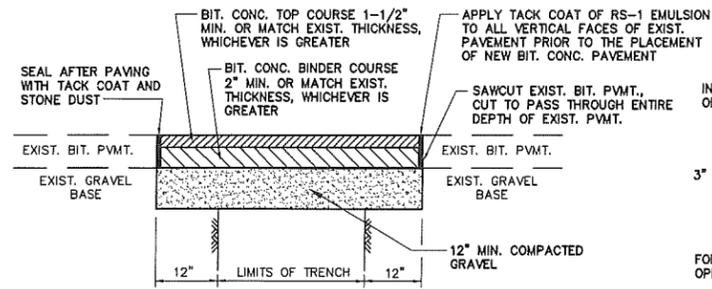
**GRASS CHANNEL**  
NOT TO SCALE



**STONE WICK DETAIL**  
NOT TO SCALE



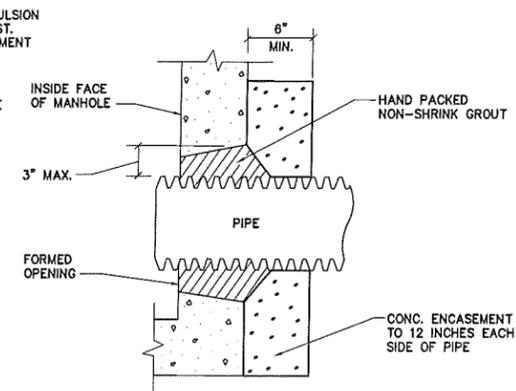
**BIT. CONC. PAVEMENT DETAIL**  
NOT TO SCALE



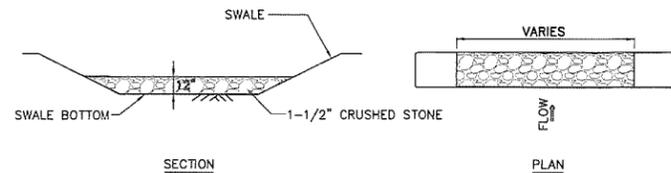
NOTES:

1. ALL INSTALLATION AND MATERIAL SPECIFICATIONS PER MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
2. ANY PAVEMENT PATCH APPLIED AT A WIDTH OF 6' OR GREATER IS TO BE PLACED BY MACHINE/BOX SPREADER.

**BIT. CONC. PAVEMENT PATCH DETAIL**  
NOT TO SCALE

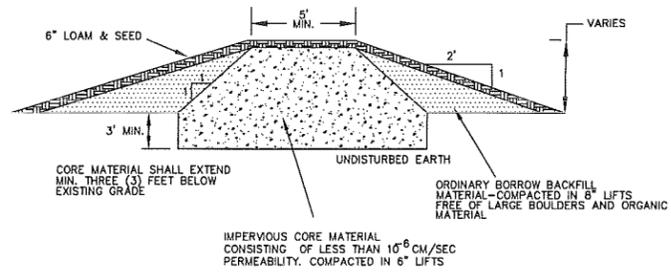


**PIPE CONNECTION DETAIL**  
NOT TO SCALE



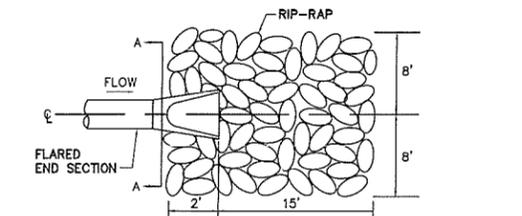
NOTE: STONE CHECK DAM TO BE PLACED EVERY 100 FEET

**STONE CHECK DAM DETAIL**  
NOT TO SCALE

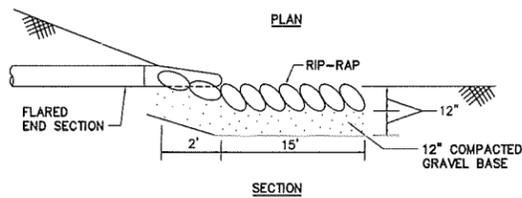


NOTE: FOUNDATION FOR DAM CONSTRUCTION SHALL BE CLEARED OF ALL TOP SOIL, ROCKS, DEBRIS, STUMPS, ETC. TO A FIRM SURFACE. IN NO CASE SHALL THIS EXCAVATION BE LESS THAN 12 INCHES. SUBGRADE SHALL BE SCARIFIED AND MOISTENED TO A DEPTH OF 3 INCHES PRIOR TO PLACEMENT OF FILL.

**IMPERVIOUS CORE DETAIL**  
REQUIRED FOR STORMWATER BASIN CONSTRUCTION IN FILL  
NO SCALE



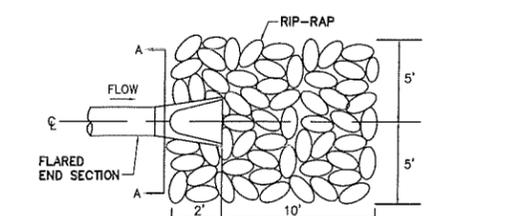
PLAN



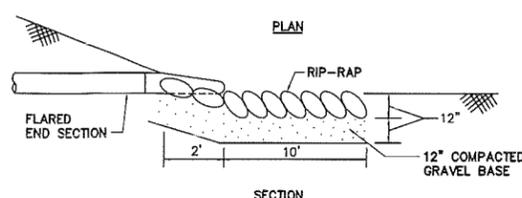
SECTION

Each stone shall weigh not less than 50 pounds nor more than 125 pounds, and at least 75% of the volume shall consist of stones weighing not less than 75 pounds each. The remainder of the stones shall be so graded that when placed with the larger stones, the entire mass will be compact. Median stone diameter to be 3 feet.

**RIP-RAP AT FLARED END SECTION (BASIN)**  
NOT TO SCALE



PLAN

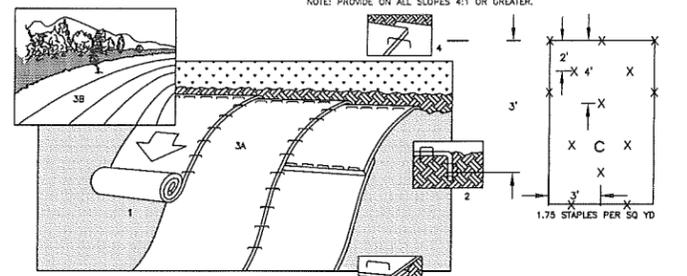


SECTION

Each stone shall weigh not less than 50 pounds nor more than 125 pounds, and at least 75% of the volume shall consist of stones weighing not less than 75 pounds each. The remainder of the stones shall be so graded that when placed with the larger stones, the entire mass will be compact.

**RIP-RAP AT FLARED END SECTION (SWALE)**  
NOT TO SCALE

**EROSION CONTROL BLANKET - JUTE MATTING**



NOTE: PROVIDE ON ALL SLOPES 4:1 OR GREATER.

NOTE: REFER MANUFACTURER SPECIFICATIONS FOR CORRECT STAPLE PATTERN RECOMMENDATIONS ON SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIM, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-D-SEED DO NOT SEED PREPARED AREA. CELL-D-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. EROSION CONTROL BLANKET SHALL BE CURLEX II BY AMERICAN EXCELSIOR, ARBICO ORGANICS, ASC OR APPROVED EQUAL.

CHECKED BY: BPM	SCALE: AS NOTED	JOB NUMBER: 13334	PLAN NUMBER: 30-D-40	FIELD BOOK REF(S): BY OTHERS
DRAWN BY: MFP	DATE: 7/13/15	SHEET NUMBER: 9 OF 10	COMPS: 9087	PLAN REF(S): BY OTHERS

NO.	DESCRIPTION	DATE	BY
2	PER PLANNING BOARD COMMENTS	12/7/15	MFP
1	PER ENGINEERING REVIEW COMMENTS	8/18/15	MFP

**CONSTRUCTION DETAILS #2**

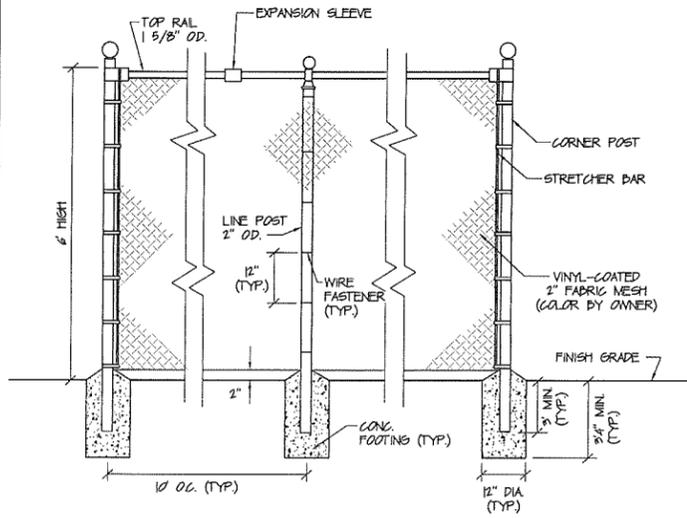
OFF  
274 PROSPECT STREET  
IN  
LUNENBURG, MA  
PREPARED FOR:  
GREENER LIVING LUXURY HOMES  
811 CHASE ROAD  
LUNENBURG, MA 01462



**WHITMAN & BINGHAM**  
A S S O C I A T E S  
REGISTERED ENGINEERS & LAND SURVEYORS  
510 MECHANIC STREET  
LEOMINSTER, MA 01460  
TEL: 978-657-6286  
FAX: 978-657-1423

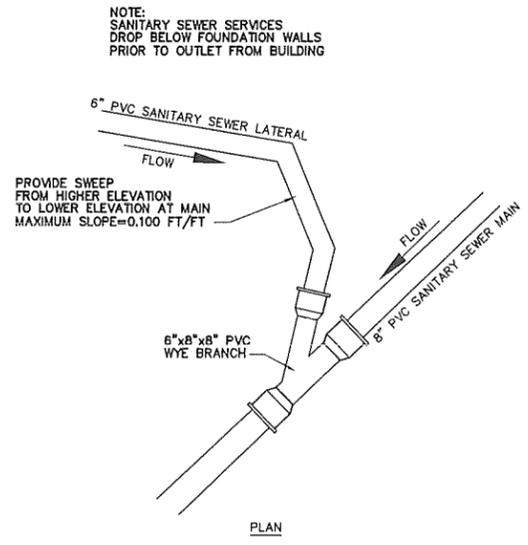
APPROVAL UNDER SITE PLAN IS REQUIRED

DATE \_\_\_\_\_  
TOWN OF LUNENBURG PLANNING BOARD

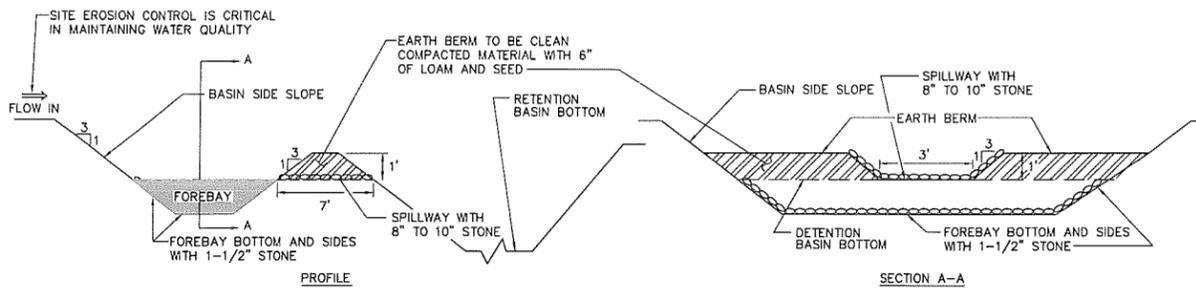


CHAIN LINK FENCE, GATES, HARDWARE, TRUSS ROD W/ TURNBUCKLE, TIE WIRES, TENSION WIRES AND ALL APPURTENANCES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS

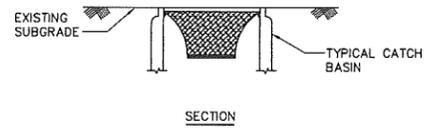
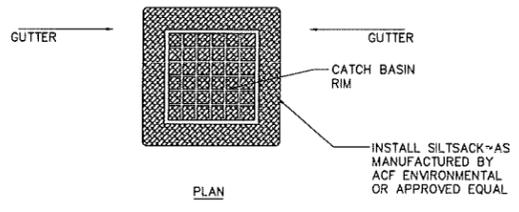
**CHAIN LINK FENCE DETAIL**  
NOT TO SCALE



**SANITARY SEWER CONNECTION DETAIL**  
NOT TO SCALE



**TYPICAL FOREBAY/BERM DETAIL**  
NOT TO SCALE



NOTE: WHEN CONTENTS OF SILTSACK REACH HALF WAY UP BAG, REMOVE AND DISPOSE CONTENTS IN A LEGAL MANNER. IF BAG IS DAMAGED IN ANY WAY, DISPOSE OF AND REPLACE IMMEDIATELY.

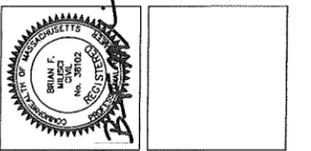
**CATCH BASIN INLET EROSION CONTROL**  
NOT TO SCALE

CHECKED BY: BPM	SCALE: AS NOTED	JOB NUMBER: 13334	PLAN NUMBER: 30-D-40	FIELD BOOK REF(S): BY OTHERS
DRAWN BY: MFP	DATE: 7/13/15	SHEET NUMBER: 10 OF 10	COMPS: 9087	PLAN REF(S): BY OTHERS

NO.	DESCRIPTION	DATE	BY
1	PER ENGINEERING REVIEW COMMENTS	9/23/15	MFP

**CONSTRUCTION DETAILS #3**  
OFF  
274 PROSPECT STREET  
IN  
LUNENBURG, MA

PREPARED FOR:  
GREENER LIVING LUXURY HOMES  
811 CHASE ROAD  
LUNENBURG, MA 01462



APPROVAL UNDER  
SITE PLAN  
IS REQUIRED

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

DATE

TOWN OF LUNENBURG  
PLANNING BOARD

**WHITMAN & BINGHAM**  
ASSOCIATES  
REGISTERED ENGINEERS & LAND SURVEYORS  
810 BARKING STREET  
LEONMINSTER, MASSACHUSETTS 01463  
TEL: 978-855-5206  
FAX: 978-855-1423