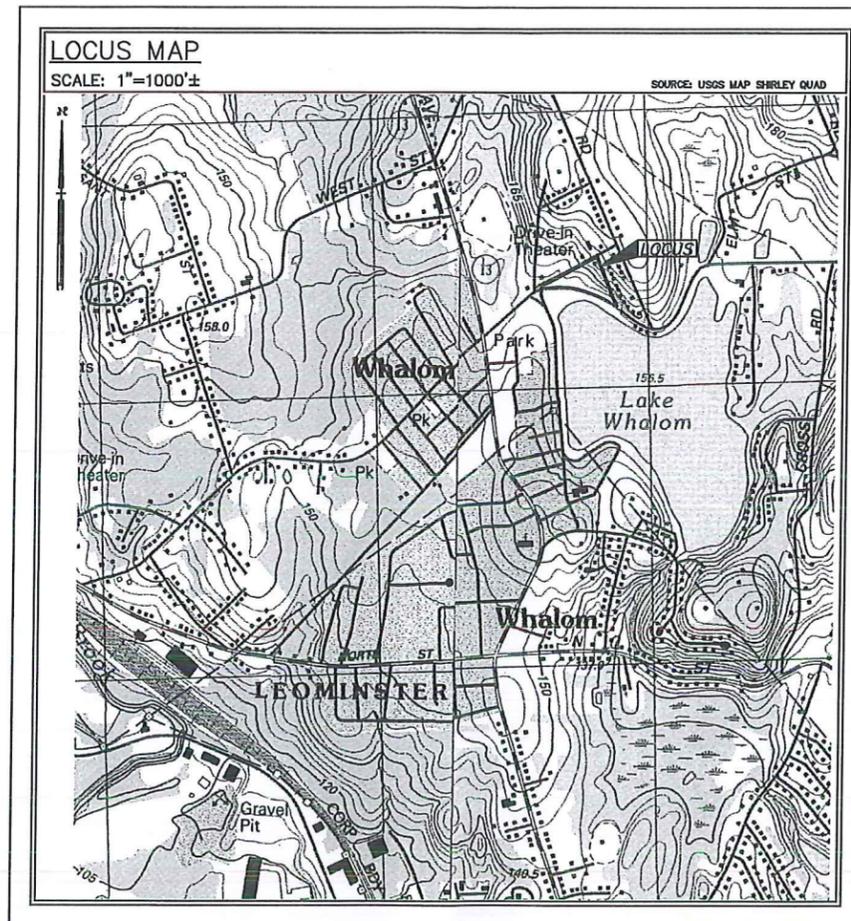


# PROPOSED RESIDENTIAL DEVELOPMENT PLAN

AT

## 274 PROSPECT STREET LUNENBURG, MASSACHUSETTS

JULY 13, 2015



RECEIVED

JAN 25 2016

Planning Department

APPROVAL UNDER  
SITE PLAN  
IS REQUIRED

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

DATE  
TOWN OF LUNENBURG  
PLANNING BOARD

ASSESSOR'S MAP # 98 PARCEL # 10

OWNER/APPLICANT  
GREENER LIVING LUXURY HOMES  
811 CHASE ROAD  
LUNENBURG, MASSACHUSETTS 01462

ENGINEER & SURVEYOR  
WHITMAN & BINGHAM ASSOCIATES, LLC.  
510 MECHANIC STREET  
LEOMINSTER, MA 01453  
TEL. (978) 537-5296  
FAX (978) 537-1423

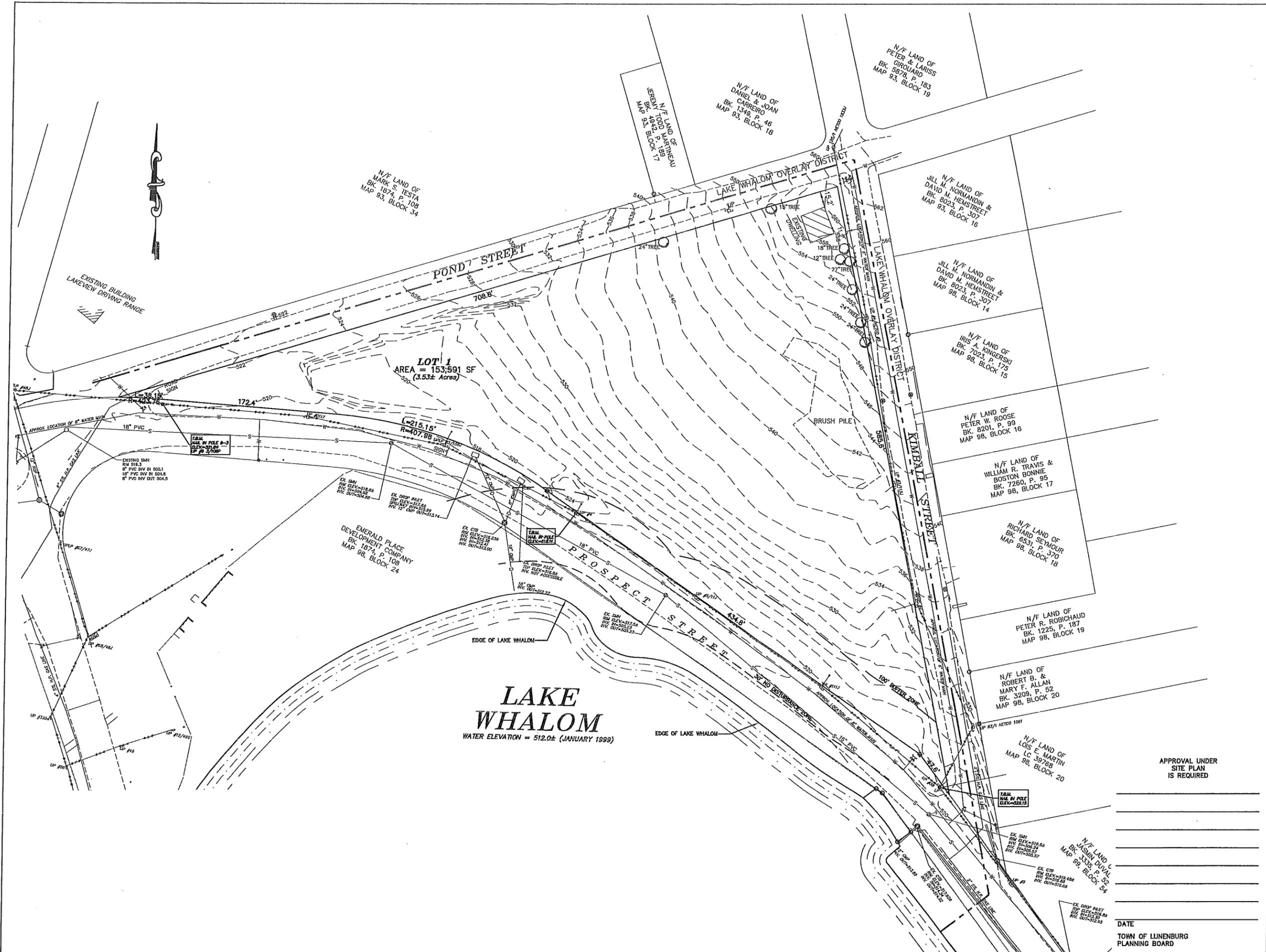
| NO. | DATE    | DESCRIPTION             |
|-----|---------|-------------------------|
| 4   | 1/25/16 | 1 THRU 8                |
| 3   | 12/7/15 | 2, 3, 4, 5, 6, 7, 8 & 9 |
| 2   | 9/23/15 | 2, 3, 6, 7, 8 & 10      |
| 1   | 8/18/15 | ALL SHEETS              |



**WHITMAN & BINGHAM**  
ASSOCIATES  
REGISTERED ENGINEERS & LAND SURVEYORS

510 MECHANIC STREET  
LEOMINSTER, MASSACHUSETTS 01453  
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| PLAN INDEX                |        |
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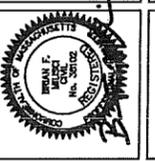


|                    |           |
|--------------------|-----------|
| CHECKED BY:        | BPM       |
| DATE:              | 7/13/15   |
| SHEET NUMBER:      | 1 OF 10   |
| COMPS:             | 9087      |
| JOB NUMBER:        | 13334     |
| PLAN NUMBER:       | 30-D-40   |
| FIELD BOOK REF(S): | BY OTHERS |

| NO. | DESCRIPTION                     | DATE    | BY  |
|-----|---------------------------------|---------|-----|
| 2   | PER PLANNING BOARD COMMENTS     | 1/25/16 | MFP |
| 1   | PER ENGINEERING REVIEW COMMENTS | 8/18/15 | MFP |
|     |                                 |         |     |

**EXISTING CONDITIONS PLAN**  
 OFF  
**274 PROSPECT STREET**  
 IN  
**LUNENBURG, MA**

PREPARED FOR:  
**GREENER LIVING LUXURY HOMES**  
 811 CHASE ROAD  
 LUNENBURG, MA 01462

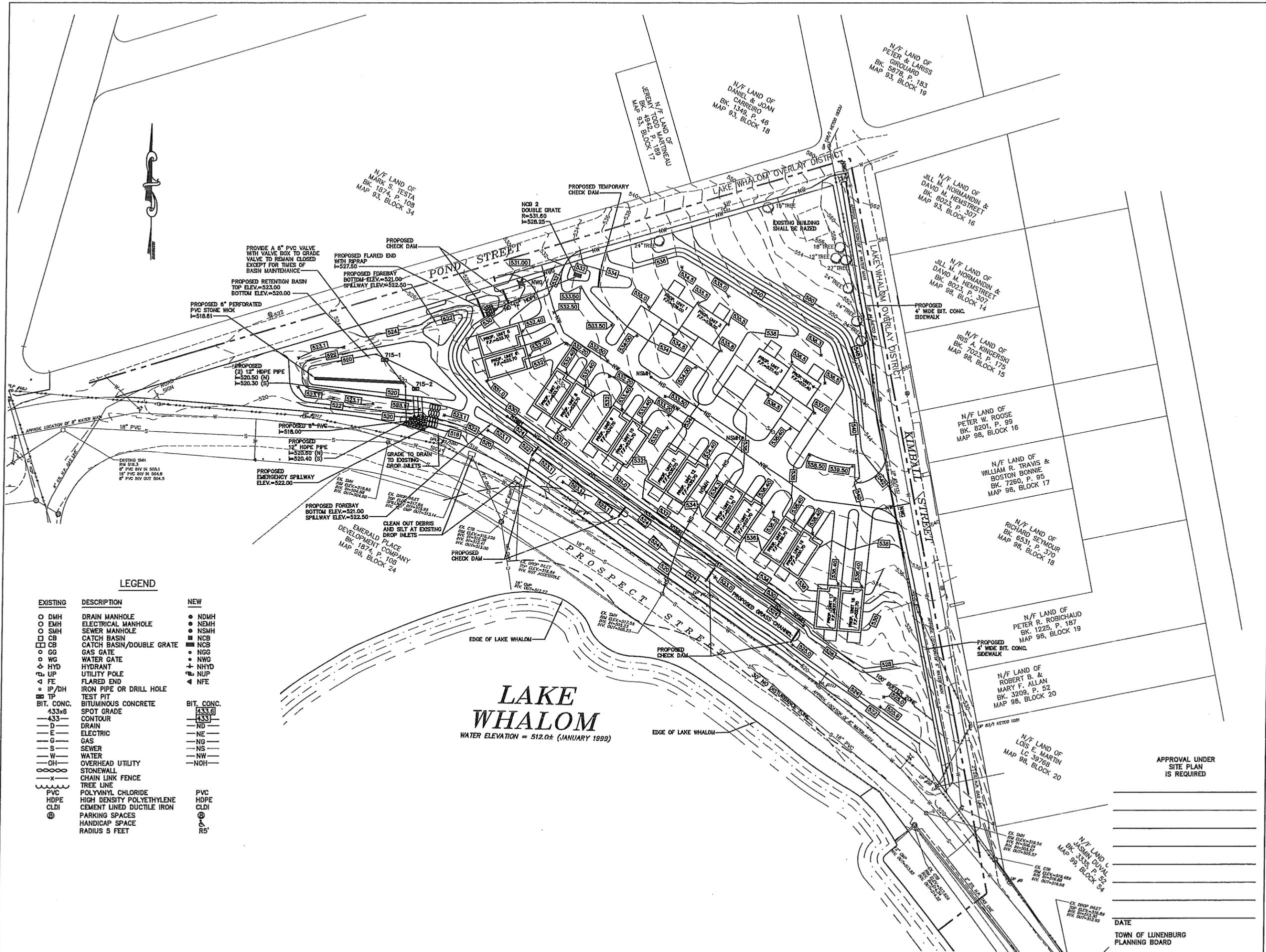


APPROVAL UNDER  
 SITE PLAN  
 IS REQUIRED

DATE  
 TOWN OF LUNENBURG  
 PLANNING BOARD



**WHITMAN & BINGHAM**  
 ASSOCIATES  
 REGISTERED ENGINEERS & LAND SURVEYORS  
 510 WASHINGTON STREET, SUITE 10450  
 LEONINGTON, MASSACHUSETTS 01460  
 TEL: (978) 537-5254  
 FAX: (978) 537-1415



**LEGEND**

| EXISTING   | DESCRIPTION               | NEW        |
|------------|---------------------------|------------|
| ○ DMH      | DRAIN MANHOLE             | ● NDMH     |
| ○ EMH      | ELECTRICAL MANHOLE        | ● NEMH     |
| ○ SMH      | SEWER MANHOLE             | ● NSMH     |
| □ CB       | CATCH BASIN               | ■ NCB      |
| □ CB       | CATCH BASIN/DOUBLE GRATE  | ■ NCB      |
| ○ GG       | GAS GATE                  | ● NGG      |
| ○ WG       | WATER GATE                | ● NWWG     |
| ○ HYD      | HYDRANT                   | ● NHYD     |
| ○ UP       | UTILITY POLE              | ● NUP      |
| ○ FE       | FLARED END                | ● NFE      |
| ○ IP/DH    | IRON PIPE OR DRILL HOLE   | ● NIP      |
| ○ TP       | TEST PIT                  | ● NTP      |
| BIT. CONC. | BITUMINOUS CONCRETE       | BIT. CONC. |
| 433x8      | SPOT GRADE                | 433x8      |
| 433        | CONTOUR                   | 433        |
| D          | DRAIN                     | ND         |
| E          | ELECTRIC                  | NE         |
| G          | GAS                       | NG         |
| S          | SEWER                     | NS         |
| W          | WATER                     | NW         |
| OH         | OVERHEAD UTILITY          | NOH        |
| ○○○○       | STONEWALL                 |            |
| —X—        | CHAIN LINK FENCE          |            |
| — —        | TREE LINE                 |            |
| PVC        | POLYVINYL CHLORIDE        | PVC        |
| HDPE       | HIGH DENSITY POLYETHYLENE | HDPE       |
| CLDI       | CEMENT LINED DUCTILE IRON | CLDI       |
| ⊙          | PARKING SPACES            | ⊙          |
| ⊙          | HANDICAP SPACE            | ⊙          |
| ⊙          | RADIUS 5 FEET             | R5'        |

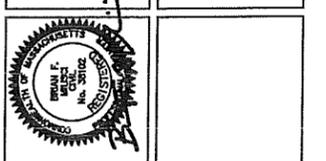
**LAKE WHALOM**  
 WATER ELEVATION = 512.0± (JANUARY 1999)

|                    |           |
|--------------------|-----------|
| CHECKED BY:        | BFM       |
| SCALE:             | 1"=40'    |
| DATE:              | 7/13/15   |
| SHEET NUMBER:      | 2 OF 10   |
| JOB NUMBER:        | 13334     |
| PLAN NUMBER:       | 30-D-40   |
| FIELD BOOK REF(S): | BY OTHERS |

| NO. | REVISIONS                       | DATE    | BY  |
|-----|---------------------------------|---------|-----|
| 4   | PER ENGINEERING REVIEW COMMENTS | 1/25/16 | MFP |
| 3   | PER PLANNING BOARD COMMENTS     | 12/7/15 | MFP |
| 2   | PER ENGINEERING REVIEW COMMENTS | 9/23/15 | MFP |
| 1   | PER ENGINEERING REVIEW COMMENTS | 8/18/15 | MFP |

**GRADING AND DRAINAGE PLAN**  
 OFF  
**274 PROSPECT STREET**  
 IN  
**LUNENBURG, MA**

PREPARED FOR:  
**GREENER LIVING LUXURY HOMES**  
 811 CHASE ROAD  
 LUNENBURG, MA 01462

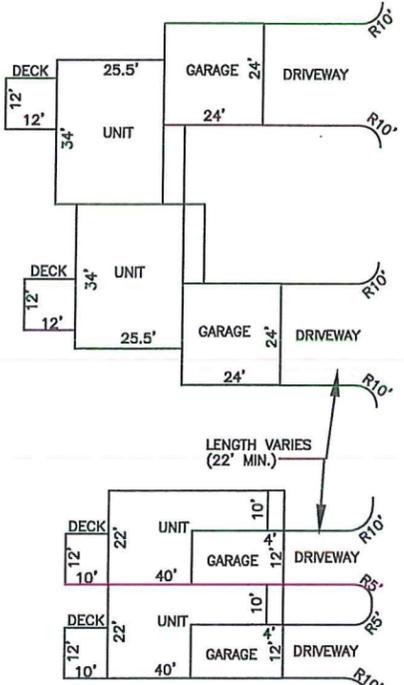
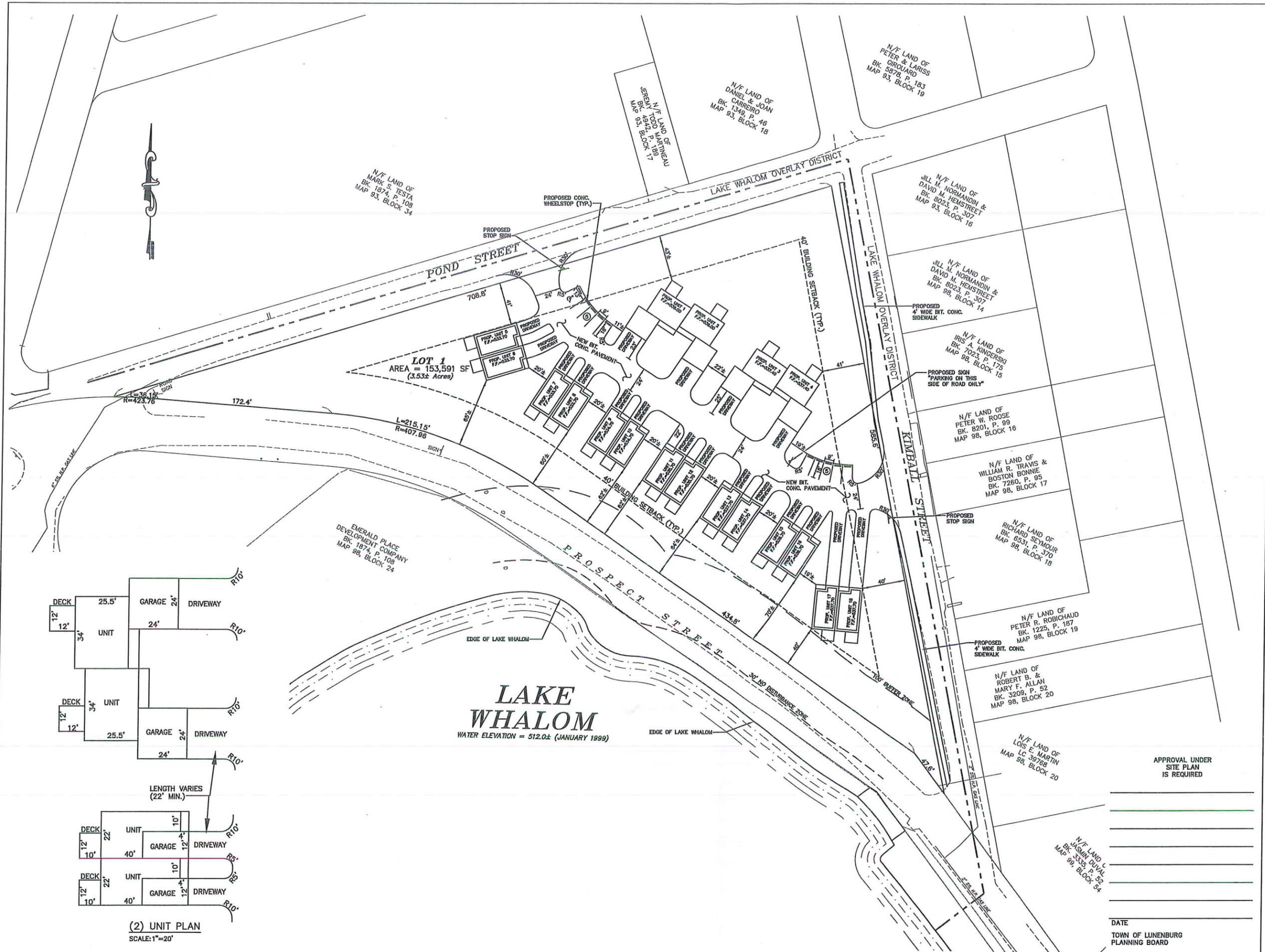


**WHITMAN & BINGHAM**  
 ASSOCIATES  
 REGISTERED ENGINEERS & LAND SURVEYORS  
 510 MECHANIC STREET  
 LEONISTON, MASSACHUSETTS 01463  
 TEL: (978) 531-5200  
 FAX: (978) 531-9423

APPROVAL UNDER SITE PLAN IS REQUIRED

DATE  
 TOWN OF LUNENBURG  
 PLANNING BOARD





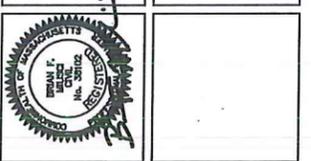
(2) UNIT PLAN  
SCALE: 1"=20'

|                    |           |
|--------------------|-----------|
| CHECKED BY:        | BFM       |
| DATE:              | 10/21/15  |
| SHEET NUMBER:      | 4 OF 10   |
| JOB NUMBER:        | 13334     |
| PLAN NUMBER:       | 30-D-40   |
| FIELD BOOK REF(S): | BY OTHERS |

| NO. | DESCRIPTION                     | DATE    | BY  |
|-----|---------------------------------|---------|-----|
| 3   | PER PLANNING BOARD COMMENTS     | 1/25/16 | MFP |
| 2   | PER PLANNING BOARD COMMENTS     | 12/7/15 | MFP |
| 1   | PER ENGINEERING REVIEW COMMENTS | 8/18/15 | MFP |

LAYOUT AND MATERIALS PLAN  
OFF  
274 PROSPECT STREET  
IN  
LUNENBURG, MA

PREPARED FOR:  
GREENER LIVING LUXURY HOMES  
811 CHASE ROAD  
LUNENBURG, MA 01462

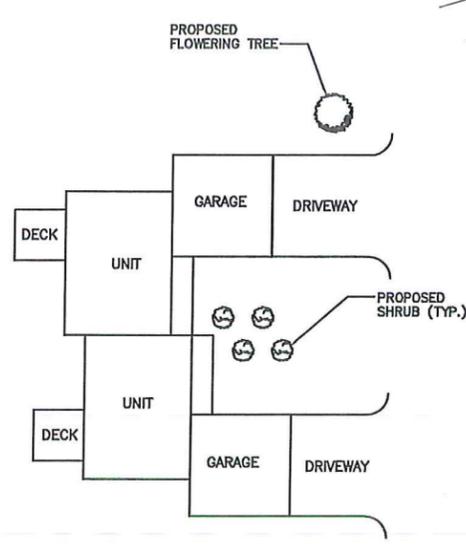


**WHITMAN & BINGHAM**  
ASSOCIATES  
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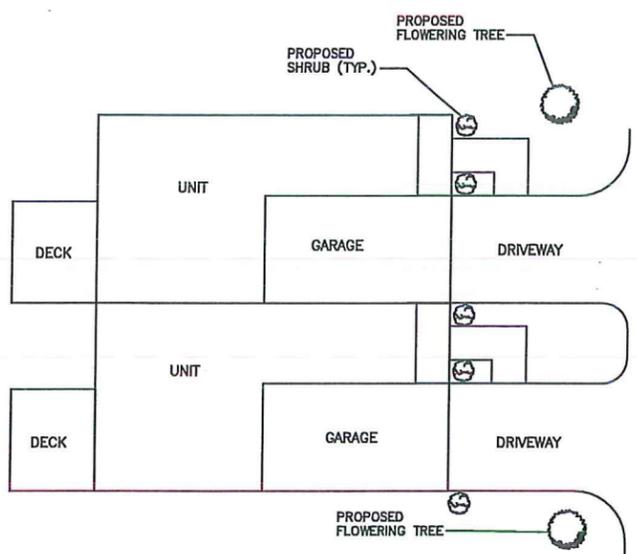
510 MECHANIC STREET  
LEONISTON, MASSACHUSETTS 01463  
TEL: (978) 525-1413  
FAX: (978) 525-1413

APPROVAL UNDER  
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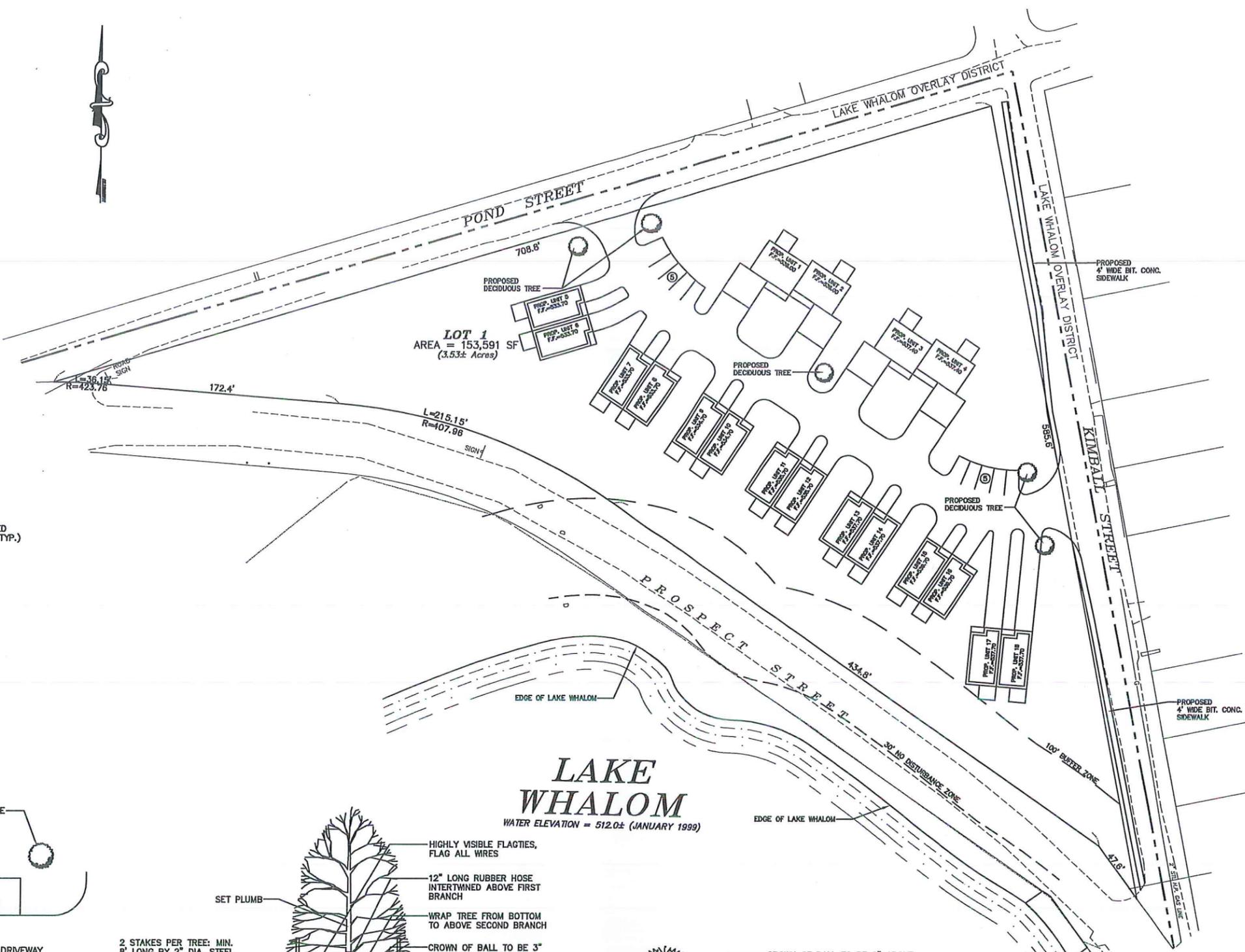
DATE \_\_\_\_\_  
TOWN OF LUNENBURG  
PLANNING BOARD



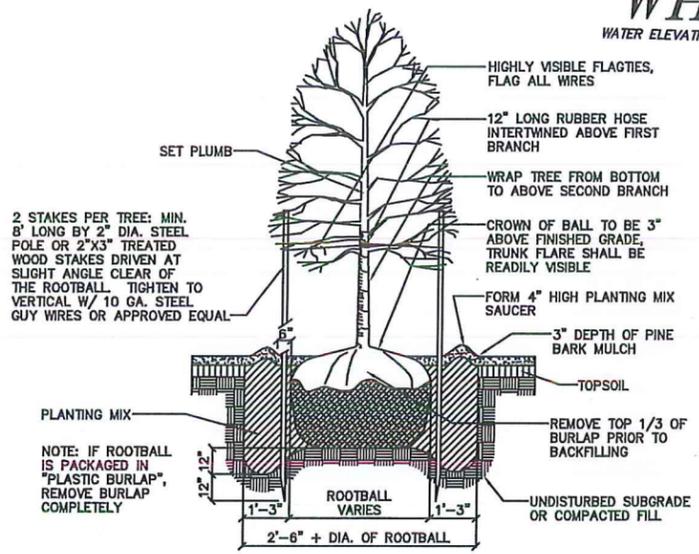
(2) UNIT LANDSCAPE PLAN  
SCALE: 1"=20'



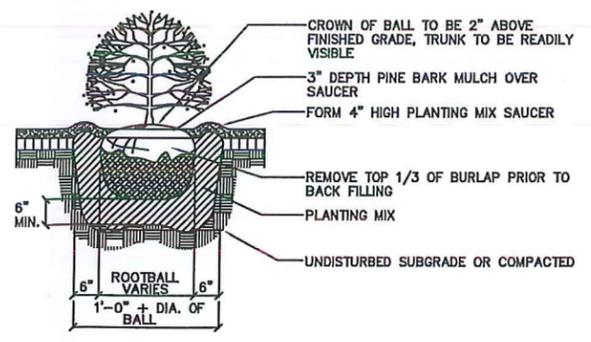
(2) UNIT LANDSCAPE PLAN  
SCALE: 1"=10'



**LAKE WHALOM**  
WATER ELEVATION = 512.0± (JANUARY 1999)



DECIDUOUS TREE PLANTING  
NOT TO SCALE



SHRUB PLANTING DETAIL  
NOT TO SCALE

APPROVAL UNDER SITE PLAN IS REQUIRED

DATE \_\_\_\_\_

TOWN OF LUNENBURG PLANNING BOARD

|                    |           |
|--------------------|-----------|
| CHECKED BY:        | BFM       |
| SCALE:             | 1"=40'    |
| JOB NUMBER:        | 13334     |
| PLAN NUMBER:       | 30-D-40   |
| FIELD BOOK REF(S): | BY OTHERS |
| DRAWN BY:          | MFP       |
| DATE:              | 7/13/15   |
| SHEET NUMBER:      | 5 OF 10   |
| COMPS:             | 9087      |
| PLAN REF(S):       | BY OTHERS |

| NO. | DESCRIPTION                     | DATE    | BY  |
|-----|---------------------------------|---------|-----|
| 3   | PER ENGINEERING REVIEW COMMENTS | 1/25/16 | MFP |
| 2   | PER PLANNING BOARD COMMENTS     | 12/7/15 | MFP |
| 1   | PER ENGINEERING REVIEW COMMENTS | 8/18/15 | MFP |

LANDSCAPE PLAN OFF  
274 PROSPECT STREET  
IN LUNENBURG, MA

PREPARED FOR:  
GREENER LIVING LUXURY HOMES  
811 CHASE ROAD  
LUNENBURG, MA 01462



**WHITMAN & BINGHAM**  
ASSOCIATES  
REGISTERED ENGINEERS & LAND SURVEYORS  
510 MECHANIC STREET  
LUNENBURG, MASSACHUSETTS 01462  
TEL: (978) 552-1423  
FAX: (978) 552-1423



# CONSTRUCTION NOTES

## GENERAL

- PROPERTY LINES SHOWN HEREON ARE COMPILED FROM VARIOUS SOURCES WHICH INCLUDE PLANS OF RECORD AND AN ON-THE-GROUND SURVEY BY WHITMAN AND BINGHAM ASSOCIATES, LLC.
- TOPOGRAPHY SHOWN ON THESE PLANS IS THE RESULT OF AN ON-THE-GROUND TOPOGRAPHIC SURVEY PERFORMED BY WHITMAN & BINGHAM ASSOCIATES, LLC. DURING AUGUST 1999. ANY ALTERATIONS TO THE TOPOGRAPHY AFTER THIS DATE MAY NOT BE REFLECTED ON THIS PLAN. ALL ELEVATIONS REFER TO NGVD OF 1929.
- UNLESS SPECIFIED OTHERWISE, ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS D.P.W. SPECIFICATIONS OF HIGHWAYS AND BRIDGES AS LAST REVISED, THE TOWN OF LUNENBURG PUBLIC WORKS DEPT. AND/OR THE APPROPRIATE LOCAL AUTHORITIES.
- \*\*\*\*DIG SAFE NOTE\*\*\*\* IN ACCORDANCE WITH MGLCH 82, SEC. 40 INCLUDING AMENDMENTS, ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING, OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS.) OR CALL "DIG SAFE" AT 811.
- EXISTING UTILITY ELEVATIONS AND LOCATIONS SHOWN SHALL BE CONSIDERED APPROXIMATE ONLY. ALL UTILITY ELEVATIONS AND LOCATIONS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, SHALL BE REPAIRED/REPLACED AS NECESSARY IF DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER AS SOON AS POSSIBLE.
- RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY, AT NO ADDITIONAL COST TO THE OWNER.
- ALL SLOPES UNLESS OTHERWISE SPECIFIED, SHALL BE LOAMED AND SEED AS SOON AS POSSIBLE FOR STABILIZATION AND TO PREVENT EROSION. SLOPES OF 2:1 AND STEEPER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
- TEST PITS SHALL BE PERFORMED IN THE AREAS WHERE CROSSING EXISTING UTILITIES IS TO BE PERFORMED PRIOR TO CONSTRUCTION TO VERIFY UTILITY DEPTHS. ADDITIONAL TEST PITS IN OTHER AREAS MAY BE REQUIRED AS DIRECTED BY ENGINEER OR LOCAL APPROVING AUTHORITY. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER AT TIME OF TEST PITS.
- ADDITIONAL BENCHMARKS TO BE SET BY CONTRACTOR PRIOR TO CONSTRUCTION TO ENSURE QUALITY WORKMANSHIP.
- ANY DEVIATIONS I.E. "FIELD CHANGES" FROM THE DESIGN PLANS MUST BE APPROVED BY THE DESIGN ENGINEER IN WRITING. CONTRACTOR SHOULD BE AWARE THAT THE TOWN OF LUNENBURG PLANNING BOARD AND STATE AUTHORITIES HAVE JURISDICTION AND APPROVALS MUST BE OBTAINED THROUGH THEIR RESPECTIVE OFFICE(S) PRIOR TO CONSTRUCTION. WHITMAN & BINGHAM ASSOCIATES, LLC. ASSUMES NO LIABILITY OR RESPONSIBILITY WHATSOEVER FOR WORK COMPLETED WITHOUT REGARD TO THE ABOVE REQUIRED "FIELD CHANGE" PROCEDURE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSURANCES THAT MAY BE REQUIRED ON THIS PROJECT. ALL ORDERS OF CONDITIONS, STREET OPENING REQUIREMENTS, AND OTHER REQUIREMENTS UNDER PERMITTING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THESE PLANS CONTAINED HEREIN SHALL SUPERSEDE ANY AND ALL PREVIOUS DESIGNS PREVIOUSLY PREPARED FOR THE SUBJECT SITE.
- DAILY AND PROPER MAINTENANCE OF ALL DITCHES AND EXCAVATIONS ARE REQUIRED. TEMPORARY AND PERMANENT PATCH PER SPECIFICATIONS AND THESE PLANS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. UNDER NO CIRCUMSTANCES, ANY EXCAVATION OR DITCH SHALL BE LEFT UNCOVERED, NOT PROPERLY PATCHED, LEFT NOT MAINTAINED OR IN IMPROPER SURFACE CONDITION.
- DURING SITE CONSTRUCTION BASINS SHALL BE USED AS SEDIMENTATION BASINS, DURING CONSTRUCTION THE SEDIMENTATION BASINS SHALL RECEIVE PERIODIC MAINTENANCE TO REMOVE DEPOSITED SILTS AND DEBRIS TO INSURE PROPER DRAINAGE AND SETTLING OF PARTICULATE MATTER. ONCE ROAD CONSTRUCTION IS COMPLETED THE BASIN BOTTOMS SHALL BE EXCAVATED TO FINISH BOTTOM ELEVATIONS.
- ALL EXCESS MATERIALS I.E., SOIL, LEDGE, WATER, AND GENERAL DEBRIS, WILL BE REMOVED AND DISPOSED BY THE CONTRACTOR OFF SITE AT THE CONTRACTOR'S EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER.
- BORINGS HAVE NOT BEEN DONE TO DETERMINE THE PRESENCE OF LEDGE.
- PRIOR TO CONSTRUCTION COORDINATE THE NEW GAS MAIN CONNECTION WITH UNITIL (FITCHBURG GAS AND ELECTRIC LIGHT COMPANY).

## SEEDING

- ALL UNSURFACED AREAS ARE TO RECEIVE TOPSOIL, SEED, MULCH AS REQUIRED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- SEED UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS, CONTRACTOR SHALL PROVIDE KENTUCKY 31 FESCUE WITH 97% PURITY AND A GERMINATION OF 90%. FOR QUICK-COVER GRASSES ONLY, ANNUAL RYE GRASS WITH GERMINATION OF 90% SHALL BE USED, UNLESS NOTED OTHERWISE ON THE DRAWINGS. FOR HIGHWAY RIGHT-OF-WAY AREAS, USE D.O.T. APPROVED GRASS ONLY. SEED TO BE APPLIED AT A RATE OF 10 LBS/1000 S.F. WITH MULCH AT A RATE OF 75 LBS PER 1000 S.F. AFTER SEEDING.

| ZONING REQUIREMENTS          |             |              |
|------------------------------|-------------|--------------|
| RESIDENCE A                  |             |              |
| LAKE WHALOM OVERLAY DISTRICT |             |              |
| DESCRIPTION                  | REQUIRED    | PROVIDED     |
| MIN. LOT AREA                | 40,000 S.F. | 153,591 S.F. |
| MIN. LOT FRONTAGE            | 100'        | 2,200'       |
| MIN. LOT WIDTH               | 175'        | 518'         |
| MIN. FRONT SETBACK           | 40'         | 40'          |
| MIN. SIDE SETBACK            | 15'         | N/A          |
| MIN. REAR SETBACK            | 20'         | N/A          |
| MAX. BUILDING HEIGHT         | 38'         | 38'          |
| PARKING CAPACITY             | 36          | 46           |
| PARKING SPACE SIZE           |             |              |
| STANDARD                     | 9 x 18      | 9 x 18       |
| HANDICAP                     | 13 x 18     | 13 x 18      |
| HANDICAP SPACES              | 1           | 1            |

PROPOSED RESIDENTIAL UNITS - 18  
DENSITY - 5.1 UNITS PER ACRE

### \* PARKING REQUIREMENTS:

PARKING REQUIREMENT FOR DWELLING UNIT:  
2 SPACES PER UNIT

PARKING REQUIRED: 2 SPACES / UNIT X 18 UNITS = 36 SPACES

PARKING PROVIDED = 46 (INCLUDES 10 SPACES FOR VISITOR PARKING)

## SITE WORK

- CONSTRUCTION ACTIVITY MAY TAKE PLACE ONLY DURING HOURS AS SPECIFIED BY THE APPROPRIATE OFFICIAL OF THE TOWN OF LUNENBURG.
- CAUTION - NOTICE TO CONTRACTOR THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS OR NOT AT NO ADDITIONAL EXPENSE TO OWNER.
- FILL MATERIAL
  - ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, AND DEBRIS PRIOR TO FILL PLACEMENT.
  - PLACE FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING EIGHT INCHES (8") IN LOOSE DEPTH AND COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO DENSITY EQUAL TO ORIGINAL ADJACENT GROUND, UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.
  - GRADE SURFACE TO MATCH ADJACENT GRADES AND TO PROVIDE FLOW TO SURFACE DRAINAGE STRUCTURES AFTER FILL PLACEMENT AND COMPACTION.
  - ROADWAY FILL SHALL BE COMPACTED IN HORIZONTAL LAYERS NOT EXCEEDING 8" IN LOOSE DEPTH AND COMPACTED TO 98% OF THE MAXIMUM DRY DENSITY (STANDARD PROCTOR).
- FINISH GRADING
 

GRADE ALL AREAS WHERE FINISH GRADE ELEVATIONS ARE INDICATED ON DRAWINGS, OTHER THAN PAVED AREAS AND BUILDINGS, INCLUDING EXCAVATED AREAS, FILLED AND TRANSITION AREAS, AND LANDSCAPED AREAS. GRADED AREAS SHALL BE UNIFORM AND SMOOTH, FREE OF DEBRIS, OR IRREGULAR SURFACE CHANGES. FINISHED SUB GRADE SURFACE SHALL NOT BE MORE THAN 0.10 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUB GRADE ELEVATIONS, AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISH DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION POTENTIAL.
- THE CONTRACTOR IS RESPONSIBLE FOR GENERAL CLEANUP OF THE PROJECT ON A DAILY BASIS AND AT THE COMPLETION OF THE PROJECT. OPEN TRENCHES, DITCHES, EXCAVATIONS, ETC. SHALL NOT BE PERMITTED TO BE LEFT OPEN OVERNIGHT. CONTRACTOR WILL BACK FILL OR UTILIZED SUITABLE STEEL PLATES FOR THE SECURING OF THE PROJECT SITE PRIOR TO CEASING WORK IN THAT PARTICULAR SECTION OF THE PROJECT.
- APPROPRIATE TRAFFIC CONTROL I.E. SIGNAGE, BARRICADES, AND OTHER MEANS WILL BE SUPPLIED BY THE CONTRACTOR AND ACCORDING TO ALL FEDERAL, STATE AND LOCAL AGENCIES AT NO ADDITIONAL COST TO OWNER.
- UNDER NO CIRCUMSTANCES WILL ANY UTILITY, STRUCTURE, OR REPAIR BE BACK FILLED UNLESS INSPECTED AND APPROVED BY THE TOWN OF LUNENBURG OR ITS DESIGNATE. THIS WILL NOT RELEASE THE CONTRACTOR FROM ANY RESPONSIBILITY OR LIABILITY AS A RESULT OF PERFORMANCE TESTS THAT ARE REQUIRED AS PART OF THIS PROJECT.
- DUE TO THE POSSIBILITY OF DEEP TRENCHES, PROPER SHORING AND/OR THE USE OF TRENCH BOXES SHALL BE UTILIZED AS DIRECTED BY LOCAL, STATE, AND/OR FEDERAL REGULATORY AGENCIES TO PROVIDE FOR A SAFE WORKING ENVIRONMENT.
- ALL UTILITIES SHOWN OR NOT SHOWN ON THE PLAN(S) WHICH ARE DISTURBED DURING CONSTRUCTION SHALL BE REPAIRED/REPLACED OR MOVED AS REQUIRED BY THE THE CONTRACTOR (SEE SITE WORK NOTE #2 AND GENERAL NOTE #5), AT NO ADDITIONAL COST TO THE OWNER.
- ALL DRAINAGE PIPE SHALL BE CORRUGATED EXTERIOR, SMOOTH INTERIOR HIGH DENSITY POLYETHYLENE (HDPE), UNLESS OTHERWISE SPECIFIED.
- USE OF EXPLOSIVES
  - COMPLY WITH ALL LAWS, RULES, AND REGULATIONS OF FEDERAL, STATE, AND LOCAL AUTHORITIES AND INSURER WHICH GOVERN STORAGE, USE, MANUFACTURE, SALE, HANDLING, TRANSPORTATION, LICENSING, OR OTHER DISPOSITION OF EXPLOSIVES. TAKE SPECIAL PRECAUTIONS FOR PROPER USE OF EXPLOSIVES TO PREVENT HARM TO HUMAN LIFE AND DAMAGE TO SURFACE STRUCTURES, ALL UTILITY LINES, OR OTHER SUBSURFACE STRUCTURES. DO NOT CONDUCT BLASTING OPERATIONS UNTIL PERSONS IN VICINITY HAVE HAD AMPLE NOTICE AND HAVE REACHED POSITIONS OF SAFETY.
  - BLASTING OF ANY ROCK SHALL REQUIRE APPROPRIATE APPROVALS FROM THE TOWN OF LUNENBURG FIRE DEPARTMENT, PLANNING BOARD, BUILDING INSPECTOR AND/OR OTHER AGENCIES, PRIOR TO COMMENCEMENT OF WORK. FIRE DEPARTMENT MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO BLASTING. AT THE DISCRETION OF THE FIRE DEPARTMENT, BLASTING MAY NEED TO BE MONITORED WITH AN INDEPENDENTLY SUPERVISED SEISMOGRAPH. ALL BLASTED ROCK OR OTHER EXCESS MATERIALS WILL BE REMOVED/ DISPOSED OF PROPERLY EITHER OFF-SITE OR ON-SITE, AT NO ADDITIONAL COST TO THE OWNER.
- PROTECTIONS
  - PROVIDE PROTECTION NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS, TREES OR VEGETATION.
  - PROTECT IMPROVEMENTS ON ADJOINING PROPERTIES AND ON OWNER'S PROPERTY.
  - RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
  - CONDUCT OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND DRIVEWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEP ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED BY THE GOVERNING AUTHORITY. ALSO THE DRIVEWAYS SHALL BE SWEEP PRIOR TO ANY RAIN EVENT.
- ALL TOPSOIL SHALL BE STOCKPILED ON SITE IN THE DESIGNATED STOCKPILE AREA PRIOR TO BEING RE-USED ON THE SITE.
- THE SANITARY SEWER MANHOLES AND SANITARY SEWER MAINS SHALL BE TESTED IN ACCORDANCE WITH THE LUNENBURG SEWER DEPARTMENT REGULATIONS.
- PROVIDE TEMPORARY BARRIER AT KIMBALL STREET ENTRANCE DURING CONSTRUCTION, ONCE THE BINDER COURSE PAVEMENT HAS BEEN INSTALLED ON THE DRIVEWAY THEN THE BARRIER MAY BE REMOVED.

## NOTES:

1. THE SUBJECT PREMISES IS GRAPHICALLY SITUATED IN THE RESIDENCE A ZONING DISTRICT WITH THE FOLLOWING MINIMUM DIMENSIONAL REQUIREMENTS:

|                             |             |
|-----------------------------|-------------|
| MINIMUM LOT AREA:           | 40,000 S.F. |
| MINIMUM LOT FRONTAGE/WIDTH: | 100 FT.     |
| MINIMUM FRONT SETBACK:      | 40 FT.      |
| MINIMUM SIDE SETBACK:       | 15 FT.      |
| MINIMUM REAR SETBACK:       | 20 FT.      |

REFER TO ZONING BLOCK BELOW.

2. THE SUBJECT PREMISES IS NOT GRAPHICALLY SITUATED IN THE 100-YEAR FLOOD HAZARD ZONE PER FLOOD INSURANCE RATE MAP 250315 0004B DATED JUNE 15, 1982.

3. DEED REFERENCE: BOOK 3704, PAGE 168-172

### GENERAL EROSION CONTROL NOTES

- THE SITE PLAN DEPICTS THE REQUIRED SOIL EROSION CONTROL MEASURES THE SITE SUBCONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:
    - SOIL EROSION IS KEPT TO A MINIMUM.
    - NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPERTY.
    - ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES EVEN BEYOND THE DETAILS SHOWN ON THIS PLAN IF NECESSARY.
  - THE SITE SUBCONTRACTOR IS RESPONSIBLE FOR ALL SILTATION RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES OR WATER BODIES DURING CONSTRUCTION AS A RESULT OF THIS PROJECT.
  - LOAM AND SEED ALL DISTURBED AREAS AT THE EARLIEST TIME POSSIBLE. USE WINTER SEED RATES AND SPECIFICATIONS IF APPROPRIATE.
  - INSPECT SOIL EROSION MEASURES WEEKLY AND AFTER SIGNIFICANT STORM EVENTS. MAKE ALL NECESSARY REPAIRS TO FACILITIES AS SOON AS POSSIBLE BUT NO LONGER THAN 24 HOURS. CLEAN AND RESET SILT FENCES WHICH ACCUMULATE SEDIMENT AND OTHER DEBRIS.
  - PROTECT AND STABILIZE ALL AREAS NOT SCHEDULED FOR EROSION, PREVENTION OR STABILIZATION, BUT THAT SHOW SIGNS OF EROSION. NOTIFY ENGINEER OF ANY SIGNIFICANT EROSION PROBLEM.
  - TEMPORARILY SEED, WITHIN 7 DAYS, ANY AREA WHICH WILL BE LEFT UNDISTURBED FOR MORE THAN 14 DAYS WITH TEMPORARY SEED MIX. PERMANENTLY SEED ANY AREA WHICH CAN BE LOAMED AS SOON AS POSSIBLE WITH PERMANENT SEED MIX LISTED BELOW. DO NOT USE PERMANENT SEED MIX AFTER SEPTEMBER 30.
  - FOLLOW SILT FENCE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF SILT FENCE. SECURE ENTIRE BOTTOM OF FENCE EITHER BY BURYING BOTTOM OF FENCE IN A TRENCH, REFER TO STRAW WATTLE EROSION CONTROL DETAIL ON EROSION CONTROL PLAN.
- ### CONSTRUCTION SEQUENCE AND EROSION CONTROL
- CONSTRUCTION FABRIC SILTATION FENCE ADJACENT TO WETLANDS AND AS DEPICTED .
  - CLEAR AND GRUB TO LIMITS OF CUT AND FILL.
  - CONSTRUCT AND STABILIZE PERIMETER SLOPES AND TREATMENT SWALES.
  - CONSTRUCT TEMPORARY SEDIMENT AND EROSION CONTROL FACILITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTHWORK OPERATIONS. THE DETENTION AREA SHALL BE USED AS A SEDIMENT BASIN DURING CONSTRUCTION.
  - THE SITE SUBCONTRACTOR SHALL MAINTAIN SEDIMENTATION AND EROSION CONTROL DEVICES THROUGHOUT THE PROJECT SITE FOR THE DURATION OF THE CONSTRUCTION.
  - ALL SLOPES GREATER THAN 3:1 SHALL BE SEED AND MULCHED WITHIN 72 HOURS OF THEIR COMPLETION.
  - ALL SWALES AND DITCHES WITH SLOPES EXCEEDING 6X SHALL BE TREATED WITH JUTE MATTING.
  - CONSTRUCT PAVED AREAS & ALL SIDE SLOPES AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING. BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEED AND MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.
  - CONSTRUCT TEMPORARY DIVERSION CHANNELS AS REQUIRED.
  - CONSTRUCT TEMPORARY BERRMS, DRAINAGE DITCHES, SILT FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
  - INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DAILY.
  - COMPLETE PERMANENT SEEDING AND LANDSCAPING.
  - REMOVE TEMPORARY CONTROL MEASURES WHEN 75% VEGETATION OR COMPLETE STABILIZATION IS ESTABLISHED AND PERMANENT EROSION AND SEDIMENT FACILITIES ARE INSTALLED AND ACCOMPLISH FINAL CLEAN UP.
  - ALL DISTURBED AREAS SHALL BE STABILIZED WITH GRASS OR MULCH.
  - THE LENGTH OF TIME AN AREA CAN BE DISTURBED AND UNSTABILIZED IS 45 DAYS.
  - ALL DITCHES AND SWALES TO STABILIZED PRIOR TO DIRECTING RUN-OFF TO THEM.

## REVISIONS

| NO. | DESCRIPTION                     | DATE    | BY  |
|-----|---------------------------------|---------|-----|
| 4   | PER ENGINEERING REVIEW COMMENTS | 1/25/16 | MFP |
| 3   | PER PLANNING BOARD COMMENTS     | 12/7/15 | MFP |
| 2   | PER ENGINEERING REVIEW COMMENTS | 9/23/15 | MFP |
| 1   | PER ENGINEERING REVIEW COMMENTS | 8/18/15 | MFP |

## CONSTRUCTION NOTES

OFF  
274 PROSPECT STREET  
IN  
LUNENBURG, MA

PREPARED FOR:  
GREENER LIVING LUXURY HOMES  
811 CHASE ROAD  
LUNENBURG, MA 01462



APPROVAL UNDER  
SITE PLAN  
IS REQUIRED

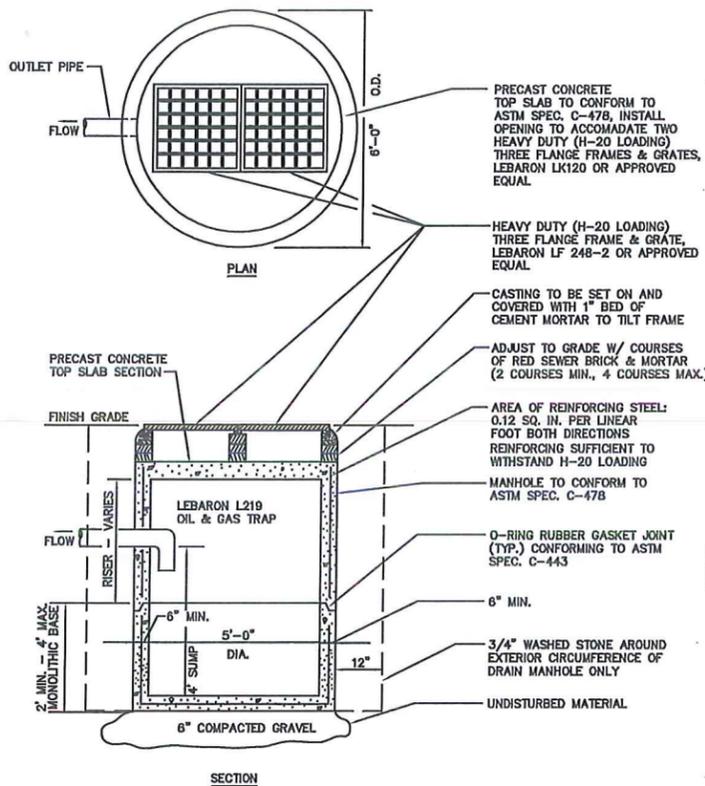
DATE

TOWN OF LUNENBURG  
PLANNING BOARD



**WHITMAN & BINGHAM**  
ASSOCIATES

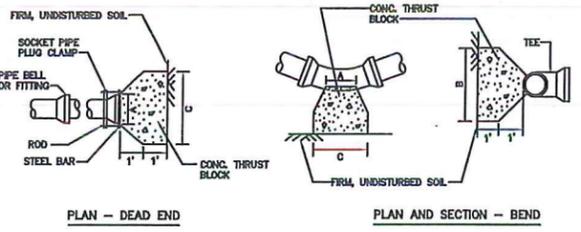
REGISTERED ENGINEERS & LAND SURVEYORS  
510 MECHANIC STREET  
120 MINUTE, 330 ASHUBERTS 0-43  
LUNENBURG, MA 01462  
PHONE: (978) 531-1423  
FAX: (978) 531-1423



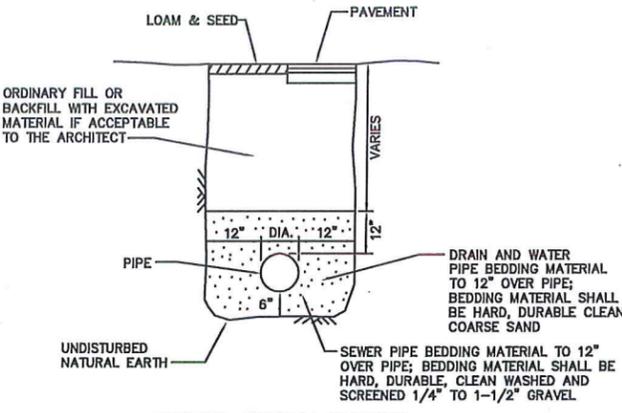
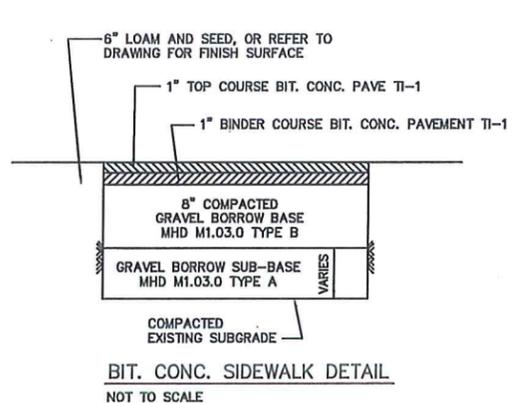
**PRECAST REINFORCED CONCRETE CATCH BASIN WITH DOUBLE GRATE**  
NOT TO SCALE

- NOTES:**
1. PROVIDE CONCRETE THRUST BLOCKS AT ALL BENDS, DEAD ENDS & TEES UNLESS OTHERWISE DIRECTED. CONCRETE FOR ALL THRUST BLOCKS SHALL BE PLACED AGAINST FIRM, UNDISTURBED SOIL. PROVIDE APPROVED ANCHOR HARNESS RODS & SOCKET CLAMPS AS SPECIFIED & IN ACCORDANCE WITH PIPE MANUFACTURERS RECOMMENDATIONS WHERE SOIL HAS BEEN DISTURBED OR THRUST BLOCKS CANNOT BE USED, AS DIRECTED BY THE ARCHITECT.
  2. ALL SOCKET CLAMP METAL SHALL BE COATED WITH BLACK ASPHALTUM OR OTHER WATER DEPARTMENT APPROVED COATINGS.
  3. CONCRETE THRUST BLOCKS POURED BEHIND 3-WAY TEE & HYDRANT SHOE TO BE USED WITH SOCKET CLAMPS.
  4. NO CONCRETE SHALL COVER PIPE JOINTS, FITTING JOINTS, BOLTS OR HYDRANT DRAINS.

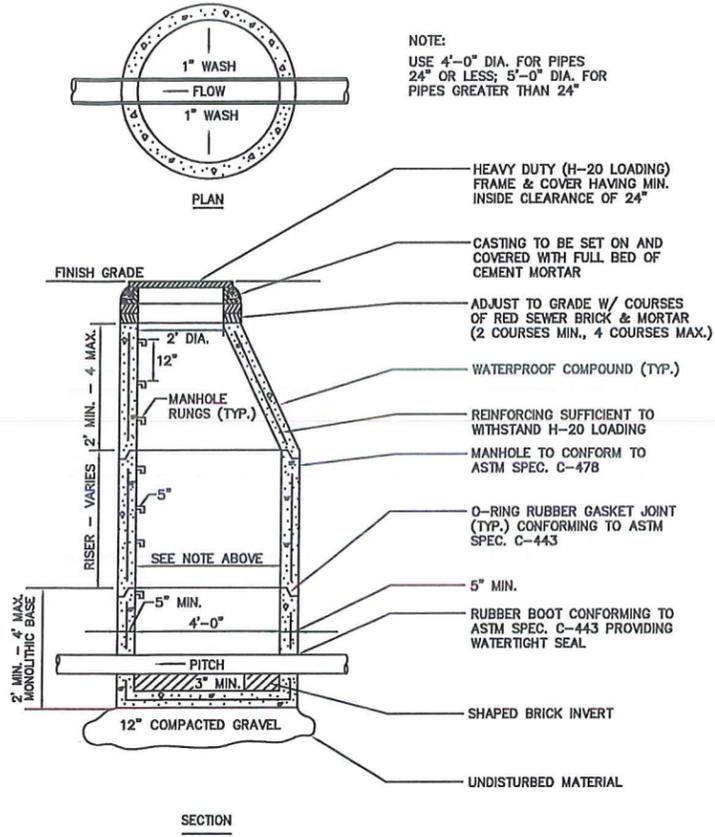
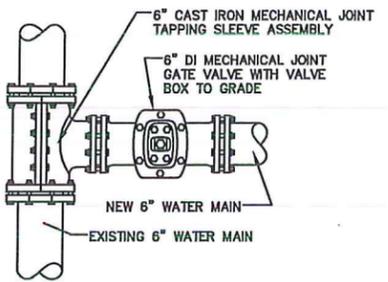
| FITTING   | SIZE OF PIPE PRODUCING THRUST |       |       |       |       |       |       |       |       |       |       |       |
|---|-------------------------------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|
|   | 12"                           |       |       | 10"   |       |       | 8"    |       |       | 6"    |       |       |
|   | A                             | B     | C     | A     | B     | C     | A     | B     | C     | A     | B     | C     |
| 22-1/2" BEND                                    | 1'-0"                         | 2'-0" | 2'-0" | 1'-0" | 2'-0" | 2'-0" | 1'-0" | 2'-0" | 2'-0" | 1'-0" | 2'-0" | 2'-0" |
| 45" BEND  | 1'-0"                         | 3'-0" | 3'-0" | 1'-0" | 2'-0" | 2'-0" | 1'-0" | 2'-0" | 2'-0" | 1'-0" | 2'-0" | 2'-0" |
| 90" BEND  | 1'-0"                         | 4'-0" | 4'-0" | 1'-0" | 4'-0" | 4'-0" | 1'-0" | 3'-0" | 3'-0" | 1'-0" | 3'-0" | 3'-0" |
| 12"x12"x8", 10"x10"x8", 8"x8"x8", 6"x6"x6" TEES | 1'-0"                         | 4'-0" | 4'-0" | 1'-0" | 3'-0" | 3'-0" | 1'-0" | 3'-0" | 3'-0" | 1'-0" | 2'-0" | 2'-0" |
| 12"x12"x8", 10"x10"x8", 8"x8"x8", 6"x6"x6" TEES | 1'-0"                         | 4'-0" | 4'-0" | 1'-0" | 3'-0" | 3'-0" | 1'-0" | 3'-0" | 3'-0" | 1'-0" | 2'-0" | 2'-0" |
| 12"x12"x10", 10"x10"x10", 8"x8"x8" TEES         | 1'-0"                         | 4'-0" | 4'-0" | 1'-0" | 3'-0" | 3'-0" | 1'-0" | 3'-0" | 3'-0" | 1'-0" | 2'-0" | 2'-0" |
| 12"x12"x10", 10"x10"x10" TEES                   | 2'-0"                         | 4'-0" | 4'-0" | 2'-0" | 3'-0" | 3'-0" | 2'-0" | 3'-0" | 3'-0" | 2'-0" | 3'-0" | 3'-0" |
| FLUJES  | 2'-0"                         | 4'-0" | 4'-0" | 2'-0" | 3'-0" | 3'-0" | 1'-0" | 3'-0" | 3'-0" | 1'-0" | 2'-0" | 2'-0" |
| HYDRANTS  | 2'-0"                         | 4'-0" | 4'-0" | 2'-0" | 4'-0" | 4'-0" | 1'-0" | 3'-0" | 3'-0" | 1'-0" | 2'-0" | 2'-0" |



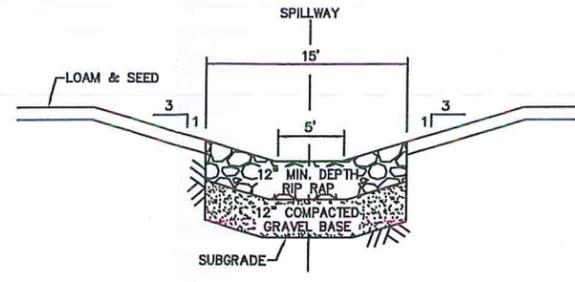
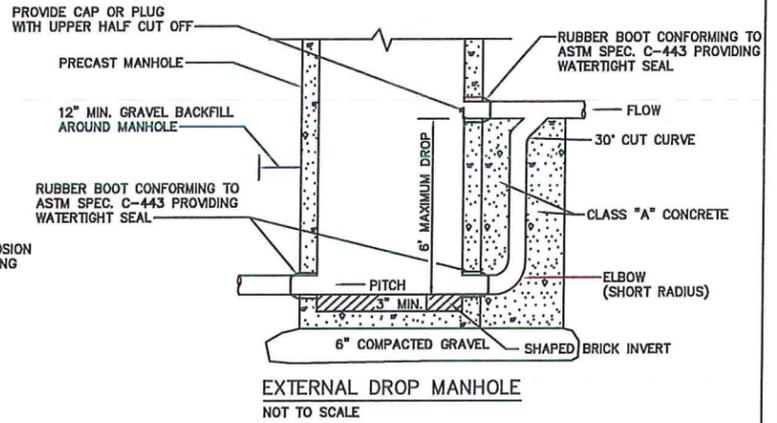
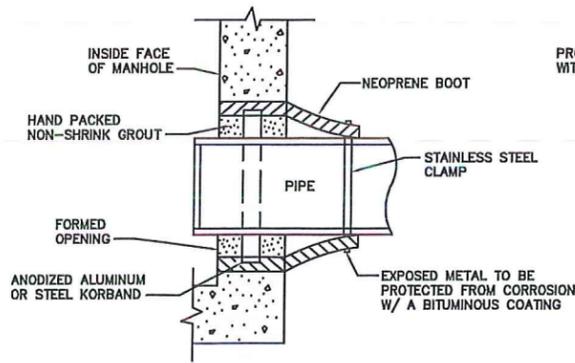
**TYPICAL CONCRETE THRUST BLOCK DETAILS**  
NOT TO SCALE



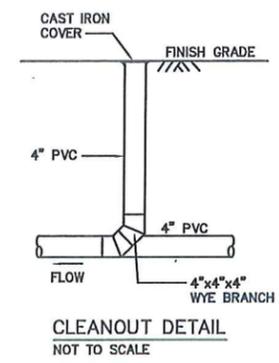
- NOTES:**
1. INSTALL TAPPING SLEEVE, VALVE AND VALVE BOX PER MANUFACTURERS RECOMMENDATIONS.
  2. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE MARLBOROUGH DEPARTMENT OF PUBLIC WORKS REQUIREMENTS.



**PRECAST SEWER MANHOLE**  
NOT TO SCALE



**RIP RAP SPILLWAY DETAIL**  
NOT TO SCALE



DATE  
TOWN OF LUNENBURG  
PLANNING BOARD

|             |     |        |          |               |         |              |         |                    |           |
|-------------|-----|--------|----------|---------------|---------|--------------|---------|--------------------|-----------|
| CHECKED BY: | BPM | SCALE: | AS NOTED | JOB NUMBER:   | 13334   | PLAN NUMBER: | 30-D-40 | FIELD BOOK REF(S): | BY OTHERS |
| DRAWN BY:   | MFP | DATE:  | 7/13/15  | SHEET NUMBER: | 8 OF 10 | COMPS:       | 9087    | PLAN REF(S):       | BY OTHERS |

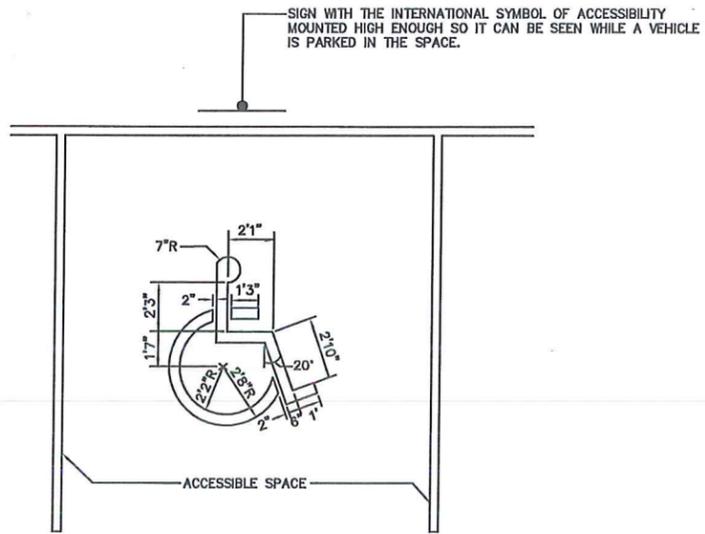
| NO. | REVISIONS                       | DATE    | DESCRIPTION |
|-----|---------------------------------|---------|-------------|
| 4   | PER ENGINEERING REVIEW COMMENTS | 1/25/16 | MFP         |
| 3   | PER PLANNING BOARD COMMENTS     | 12/7/15 | MFP         |
| 2   | PER ENGINEERING REVIEW COMMENTS | 9/23/15 | MFP         |
| 1   | PER ENGINEERING REVIEW COMMENTS | 8/18/15 | MFP         |

**CONSTRUCTION DETAILS #1**  
OFF

**274 PROSPECT STREET**  
IN  
**LUNENBURG, MA**

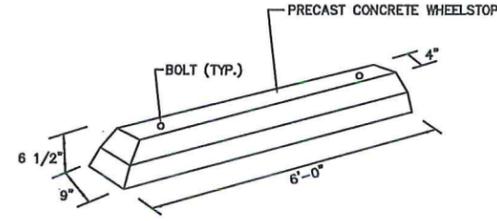
PREPARED FOR:  
**GREENER LIVING LUXURY HOMES**  
811 CHASE ROAD  
LUNENBURG, MA 01462

**WHITMAN & BINGHAM**  
ASSOCIATES  
REGISTERED ENGINEERS & LAND SURVEYORS  
510 MECHANIC STREET  
LEOMINSTER, MASSACHUSETTS 01453  
TEL: (978) 531-5596  
FAX: (978) 531-5483



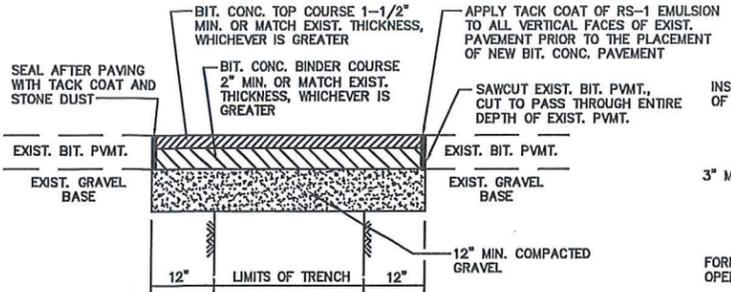
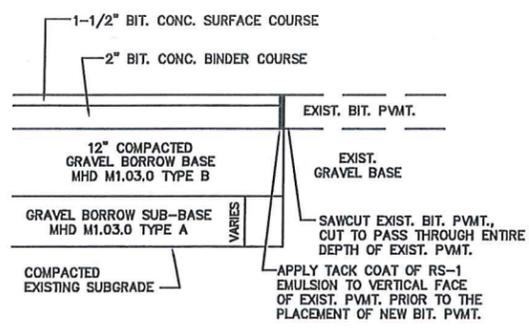
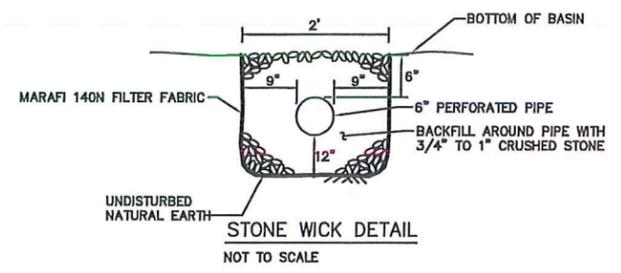
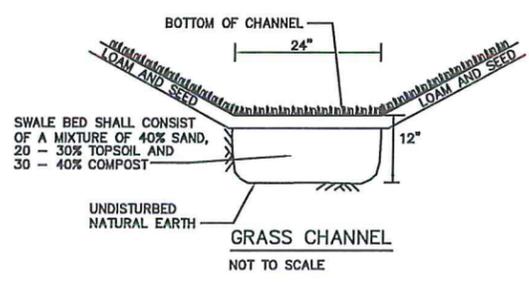
HANDICAP SYMBOL PAINT SHALL CONFORM TO STRIPING PAINT AS SPECIFIED. (SYMBOL SHALL BE CENTERED IN SPACE)

**ACCESSIBLE SPACE AND PAINTED ISLAND DETAIL**  
NOT TO SCALE

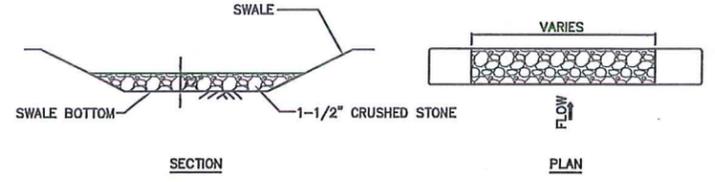
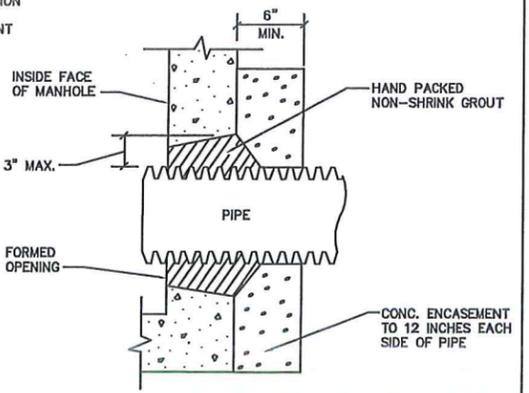


1. Durable 3000 psi concrete.
2. Reinforced with two #3 rebars.
3. Standard 6'-0" length; 5" high; 8" wide
4. Approximate weight: 155 lbs.
5. Two 3/4" diameter thru-holes for anchoring.
6. Tapered side design equalizes pressure down and forward from car wheels to relieve tension on setting pins and stops.
7. Graduated taper on ends relieves danger of cutting tires.

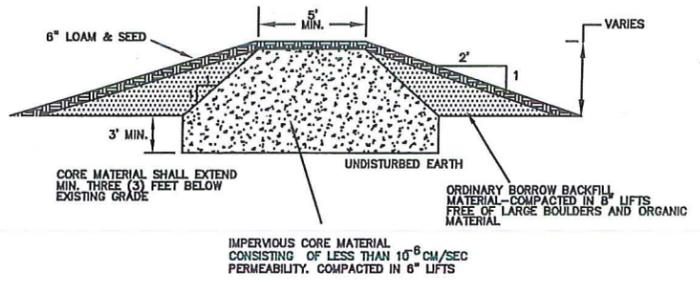
**CONCRETE WHEELSTOP DETAIL**  
NOT TO SCALE



- NOTES:
1. ALL INSTALLATION AND MATERIAL SPECIFICATIONS PER MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
  2. ANY PAVEMENT PATCH APPLIED AT A WIDTH OF 6' OR GREATER IS TO BE PLACED BY MACHINE/BOX SPREADER.

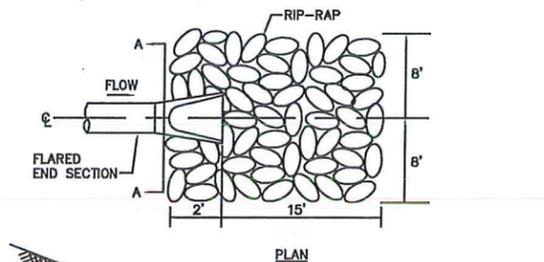


NOTE: STONE CHECK DAM TO BE PLACED EVERY 100 FEET

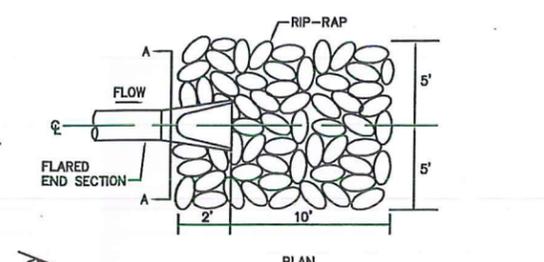


NOTE: FOUNDATION FOR DAM CONSTRUCTION SHALL BE CLEARED OF ALL TOP SOIL, ROCKS, DEBRIS, STUMPS, ETC. TO A FIRM SURFACE. IN NO CASE SHALL THIS EXCAVATION BE LESS THAN 12 INCHES. SUBGRADE SHALL BE SCARIFIED AND MOISTENED TO A DEPTH OF 3 INCHES PRIOR TO PLACEMENT OF FILL.

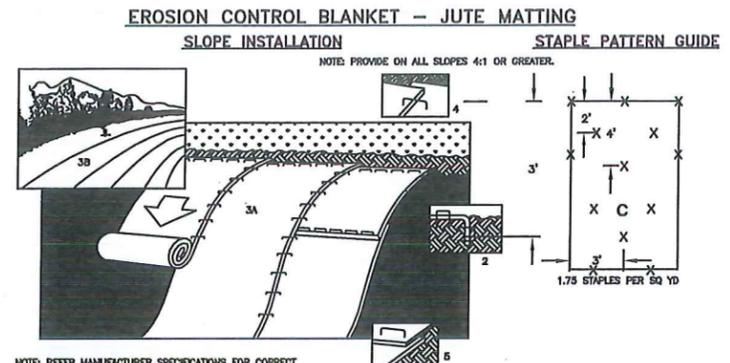
**IMPERVIOUS CORE DETAIL**  
REQUIRED FOR STORMWATER BASIN CONSTRUCTION IN FILL  
NO SCALE



Each stone shall weigh not less than 50 pounds nor more than 125 pounds, and at least 75% of the volume shall consist of stones weighing not less than 75 pounds each. The remainder of the stones shall be so graded that when placed with the larger stones, the entire mass will be compact. Median stone diameter to be 3 feet.



Each stone shall weigh not less than 50 pounds nor more than 125 pounds, and at least 75% of the volume shall consist of stones weighing not less than 75 pounds each. The remainder of the stones shall be so graded that when placed with the larger stones, the entire mass will be compact.



- NOTE: REFER MANUFACTURER SPECIFICATIONS FOR CORRECT STAPLE PATTERN RECOMMENDATIONS ON SLOPE INSTALLATIONS.
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
  2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
  3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE.
  4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
  5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
  6. EROSION CONTROL BLANKET SHALL BE CURLEX II BY AMERICAN EXCELSIOR, ARBICO ORGANICS, ASC OR APPROVED EQUAL.

APPROVAL UNDER SITE PLAN IS REQUIRED

DATE  
TOWN OF LUNENBURG  
PLANNING BOARD

|             |     |        |          |               |         |                                 |         |                    |           |
|-------------|-----|--------|----------|---------------|---------|---------------------------------|---------|--------------------|-----------|
| CHECKED BY: | BFM | SCALE: | AS NOTED | JOB NUMBER:   | 13334   | PLAN NUMBER:                    | 30-D-40 | FIELD BOOK REF(S): | BY OTHERS |
| DRAWN BY:   | MFP | DATE:  | 7/13/15  | SHEET NUMBER: | 9 OF 10 | COMPS:                          | 9087    | PLAN REF(S):       | BY OTHERS |
| REVISIONS   |     |        |          |               |         |                                 |         |                    |           |
|             |     |        |          |               |         | PER PLANNING BOARD COMMENTS     | 12/7/15 | MFP                |           |
|             |     |        |          |               |         | PER ENGINEERING REVIEW COMMENTS | 8/18/15 | MFP                |           |
|             |     |        |          |               |         |                                 |         |                    | DATE      |
|             |     |        |          |               |         |                                 |         |                    | BY        |

**CONSTRUCTION DETAILS #2**  
OFF  
274 PROSPECT STREET  
IN  
LUNENBURG, MA

PREPARED FOR:  
GREENER LIVING LUXURY HOMES  
811 CHASE ROAD  
LUNENBURG, MA 01462



**WHITMAN & BINGHAM**  
ASSOCIATES

REGISTERED ENGINEERS & LAND SURVEYORS  
510 MECHANIC STREET  
LEOMINSTER, MASSACHUSETTS 01453  
PHONE: 978-537-3423  
FAX: 978-537-3423

