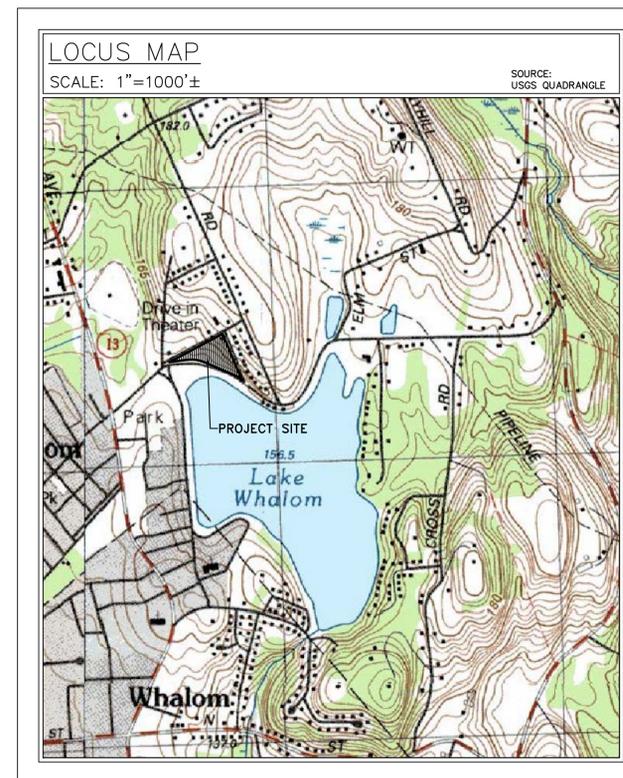


PROPOSED SITE DEVELOPMENT PLAN
PROPOSED 22 UNIT TOWNHOUSE DEVELOPMENT
 IN
LUNENBURG, MASSACHUSETTS
 AT
274 PROSPECT STREET
AUGUST 15, 2016



LAND OWNER
 APPLE TREE REALTY TRUST
 ALEXIS HACHEY, TRUSTEE
 96 EXCHANGE STREET
 LEOMINSTER, MASSACHUSETTS 01453

ENGINEER & SURVEYOR
 WHITMAN & BINGHAM ASSOCIATES, LLC
 510 MECHANIC STREET
 LEOMINSTER, MASSACHUSETTS 01453
 TEL. (978) 537-5296
 FAX (978) 537-1423

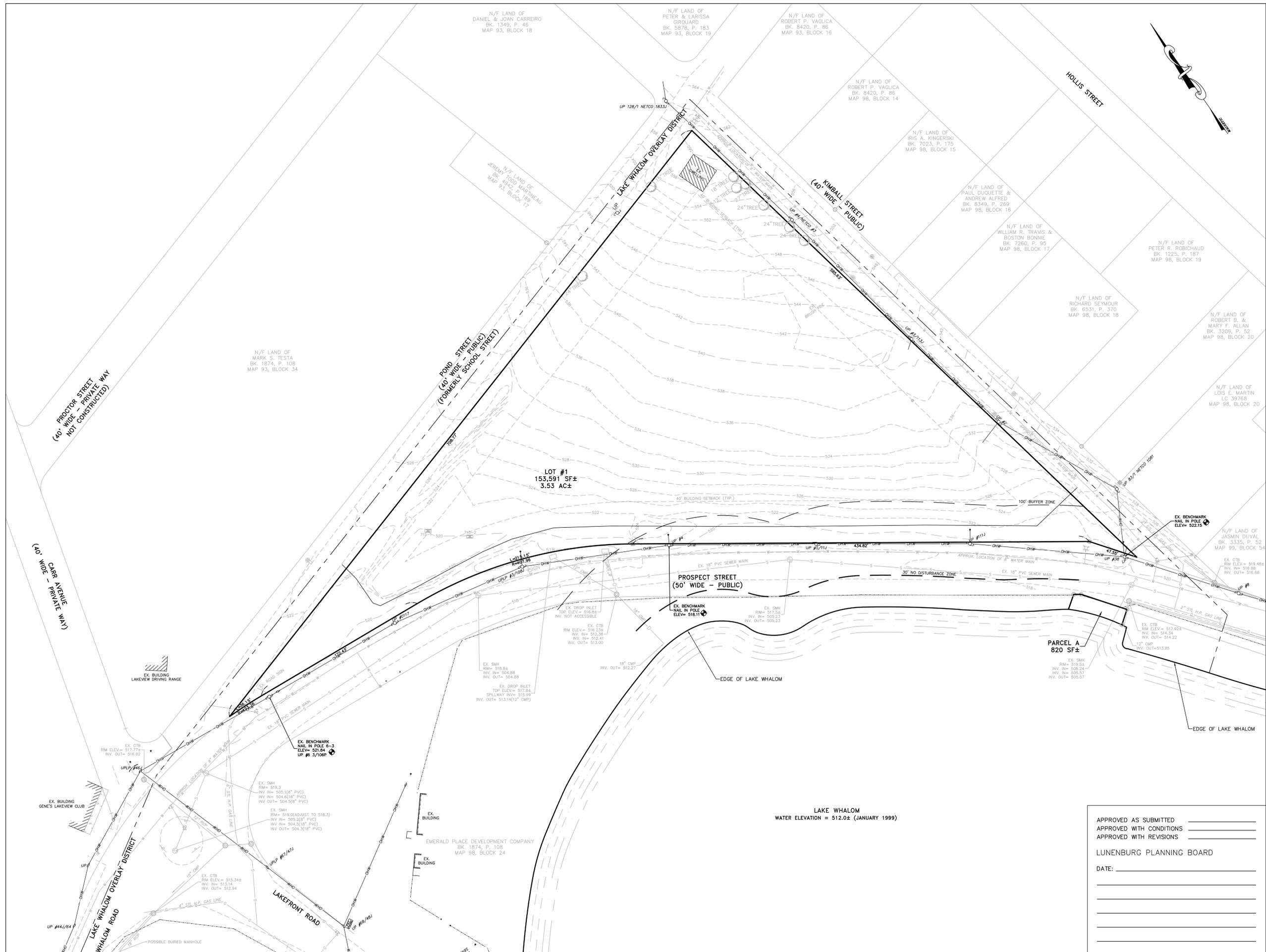
APPROVED AS SUBMITTED _____
 APPROVED WITH CONDITIONS _____
 APPROVED WITH REVISIONS _____

LUNENBURG PLANNING BOARD

DATE: _____

PLAN INDEX	
EXISTING CONDITIONS PLAN	1
PROPOSED SITE & GRADING PLAN	2
PROPOSED SITE LAYOUT PLAN	3
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NO.	DATE	DESCRIPTION



CHECKED BY:	BFM
DRAWN BY:	WRF
DATE:	AUGUST 15, 2016
SHEET NUMBER:	1 OF 10
COMPS:	9087
SCALE:	1"=40'
JOB NUMBER:	13334
PLAN NUMBER:	30-D-40A
FIELD BOOK REF(S):	

NO.	DESCRIPTION	DATE	BY

EXISTING CONDITIONS PLAN
FOR
274 PROSPECT STREET
IN
LUNENBURG, MASSACHUSETTS

PREPARED FOR:
APPLE TREE REALTY TRUST
ALEXIS HACHEY, TRUSTEE
96 EXCHANGE STREET
LEOMINSTER, MASSACHUSETTS 01453

APPROVED AS SUBMITTED _____
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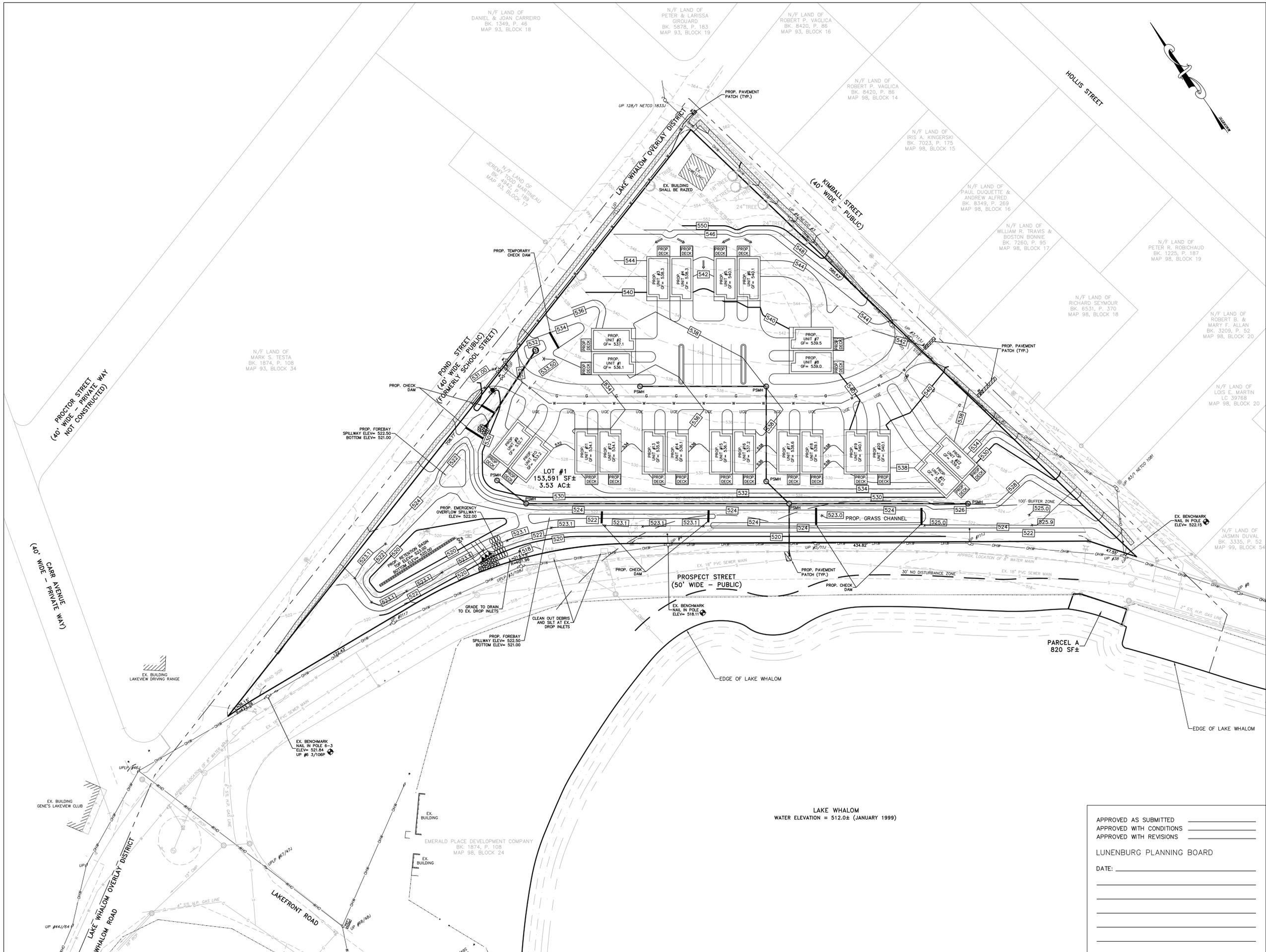
LUNENBURG PLANNING BOARD

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WHITMAN & BINGHAM
ASSOCIATES
REGISTERED ENGINEERS & LAND SURVEYORS

50 MECHANIC STREET
LEOMINSTER, MA 01453
TEL: (978) 537-5256
FAX: (978) 537-1423



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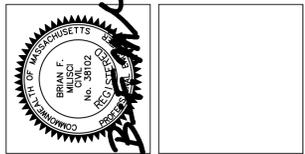
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SCALE:	1"=40'
JOB NUMBER:	13334
PLAN NUMBER:	30-D-40A
FIELD BOOK REF(S):	

NO.	DESCRIPTION	DATE	BY

PROPOSED SITE & GRADING PLAN
 FOR
 274 PROSPECT STREET
 IN
 LUNENBURG, MASSACHUSETTS

PREPARED FOR:
 APPLE TREE REALTY TRUST
 ALEXIS HACHEY, TRUSTEE
 96 EXCHANGE STREET
 LEOMINSTER, MASSACHUSETTS 01453



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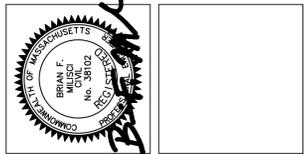


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DATE:	AUGUST 15, 2016
SHEET NUMBER:	3 OF 10
JOB NUMBER:	13334
PLAN NUMBER:	30-D-40A
FIELD BOOK REF(S):	

REVISIONS	NO.	DESCRIPTION	DATE	BY

PROPOSED SITE LAYOUT PLAN
FOR
274 PROSPECT STREET
IN
LUNENBURG, MASSACHUSETTS

PREPARED FOR:
APPLE TREE REALTY TRUST
ALEXIS HACHEY, TRUSTEE
96 EXCHANGE STREET
LEOMINSTER, MASSACHUSETTS 01453



LAKE WHALOM
WATER ELEVATION = 512.0± (JANUARY 1999)

APPROVED AS SUBMITTED _____

APPROVED WITH CONDITIONS _____

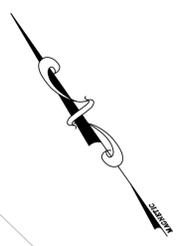
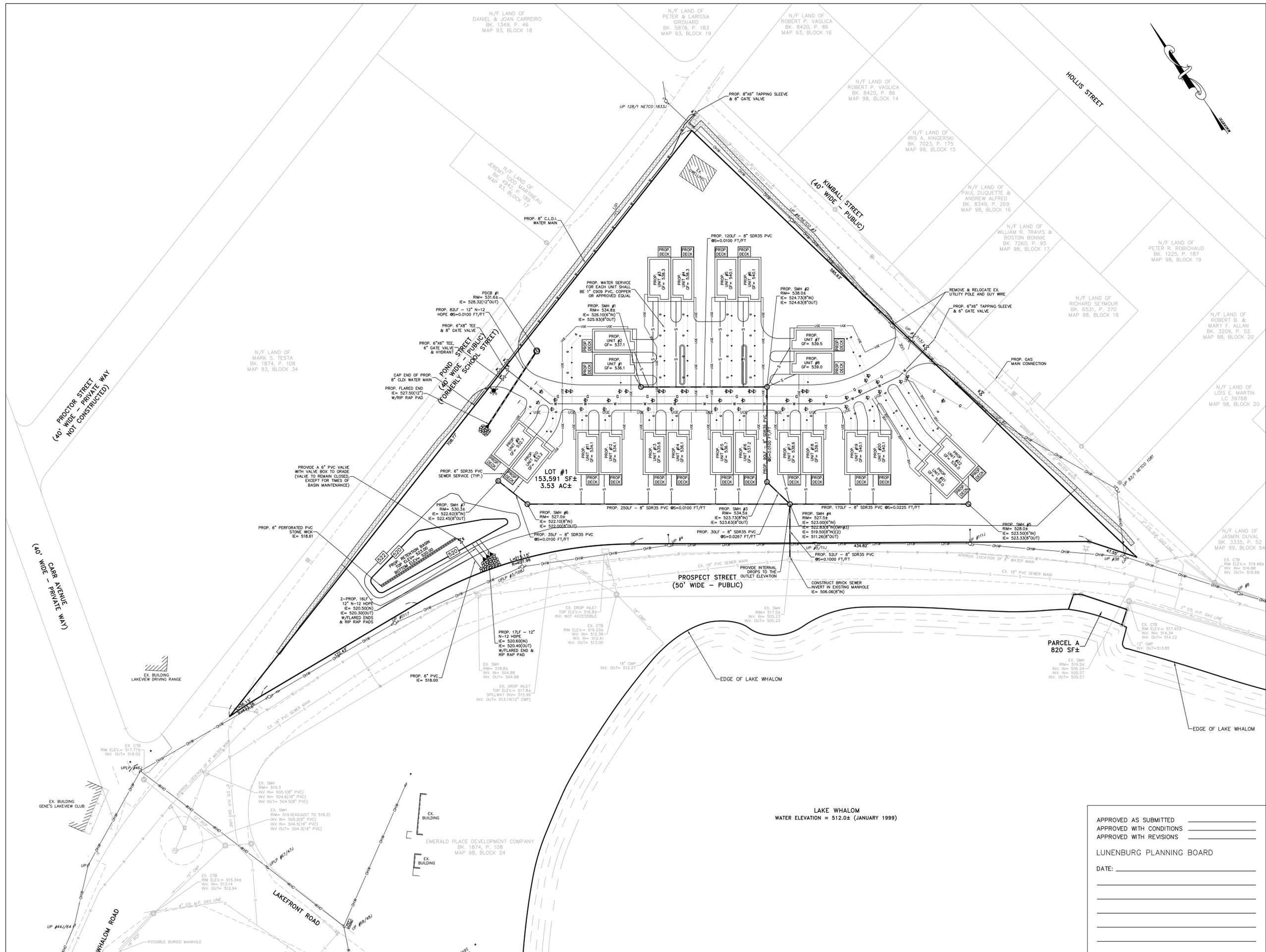
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LUNENBURG PLANNING BOARD

DATE: _____

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REGISTERED ENGINEERS & LAND SURVEYORS

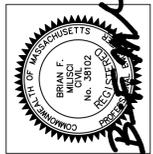
50 MECHANIC STREET
LEOMINSTER, MA 01453
TEL. (978) 537-5200
FAX. (978) 537-1433



CHECKED BY: BFM	DATE: AUGUST 15, 2016	SHEET NUMBER: 4	COMPS: 9087	PLAN REF(S):
DRAWN BY: WRF	SCALE: 1"=40'	OF 10	PLAN NUMBER: 30-D-40A	FIELD BOOK REF(S):
REVISIONS				BY
				DATE
				DESCRIPTION
				NO.

PROPOSED UTILITIES PLAN
FOR
274 PROSPECT STREET
IN
LUNENBURG, MASSACHUSETTS

PREPARED FOR:
APPLE TREE REALTY TRUST
ALEXIS HACHEY, TRUSTEE
96 EXCHANGE STREET
LEOMINSTER, MASSACHUSETTS 01453



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 APPROVED WITH CONDITIONS _____
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LUNENBURG PLANNING BOARD

DATE: _____

WHITMAN & BINGHAM
ASSOCIATES
REGISTERED ENGINEERS & LAND SURVEYORS

50 MECHANIC STREET
LEOMINSTER, MA 01453
TEL: (978) 537-5296
FAX: (978) 537-1413

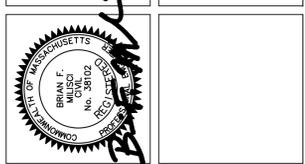


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COMPS:	9087
SCALE:	1"=40'
JOB NUMBER:	13334
PLAN NUMBER:	30-D-40A
FIELD BOOK REF(S):	

NO.	DESCRIPTION	DATE	BY

PROPOSED LANDSCAPING PLAN
FOR
274 PROSPECT STREET
IN
LUNENBURG, MASSACHUSETTS

PREPARED FOR:
APPLE TREE REALTY TRUST
ALEXIS HACHEY, TRUSTEE
96 EXCHANGE STREET
LEOMINSTER, MASSACHUSETTS 01453



APPROVED AS SUBMITTED _____
 APPROVED WITH CONDITIONS _____
 APPROVED WITH REVISIONS _____

LUNENBURG PLANNING BOARD

DATE: _____

WHITMAN & BINGHAM
 ASSOCIATES
 REGISTERED ENGINEERS & LAND SURVEYORS

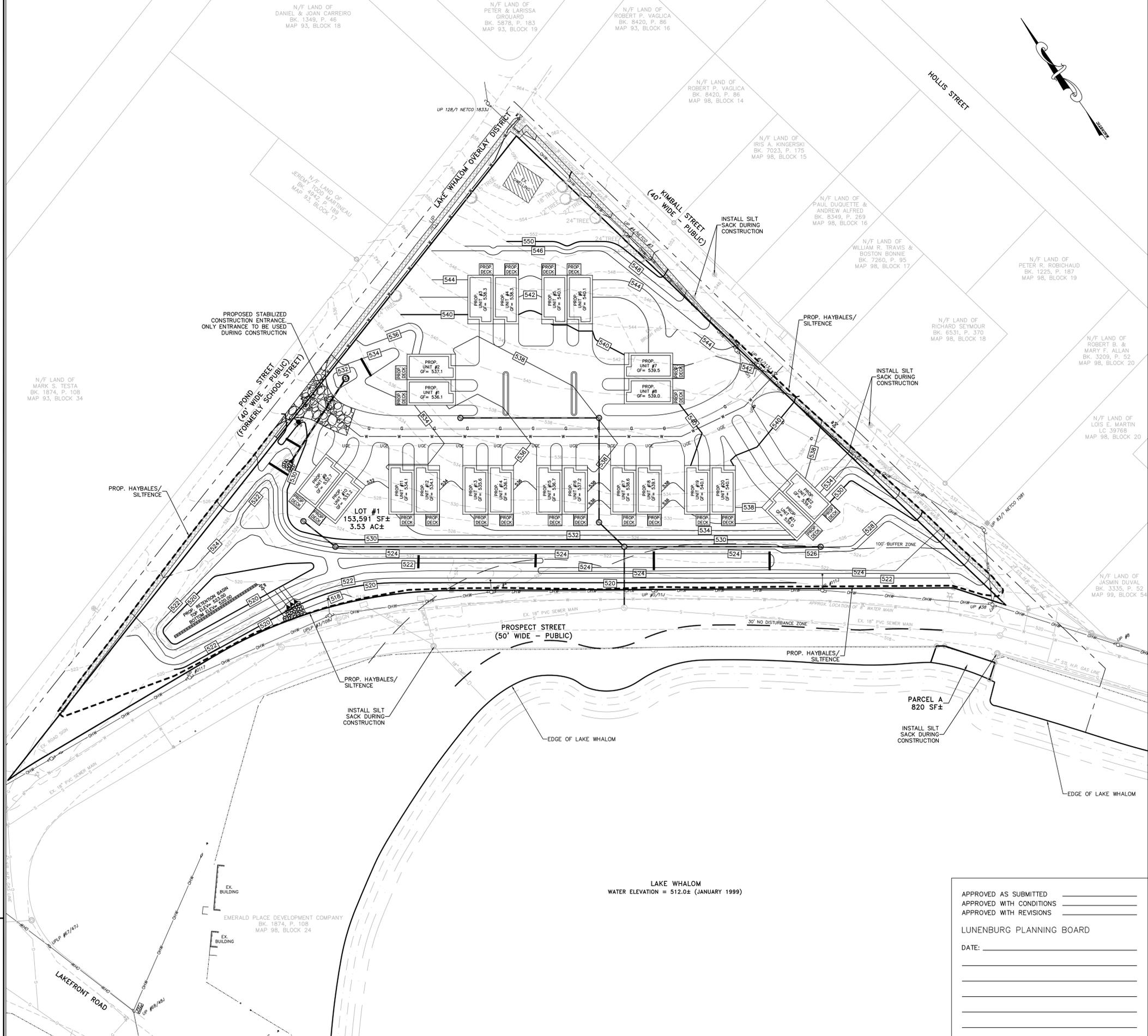
50 MECHANIC STREET
 LEOMINSTER, MA 01453
 TEL. (978) 537-5296
 FAX. (978) 537-1413

- CONSTRUCTION SEQUENCE AND EROSION CONTROL:**
1. INSTALL CONSTRUCTION ENTRANCE (SEE DETAIL).
 2. CONSTRUCT SILTATION BARRIERS AS DEPICTED ON THE DESIGN PLANS.
 3. CLEAR AND GRUB TO LIMITS OF CUT AND FILL.
 4. CONSTRUCT TEMPORARY SEDIMENT AND EROSION CONTROL BASINS.
 5. CONSTRUCT AND STABILIZE PERIMETER SLOPES AND TREATMENT SWALES.
 6. IMMEDIATELY STABILIZE THE SWALE AND BASIN SIDE SLOPES UPON FINAL GRADING. ALL SLOPES STEEPER THAN 2:1 ARE TO BE IMMEDIATELY STABILIZED UPON FINAL GRADING WITH EROSION CONTROL BLANKETS.
 7. COMMENCE SITE GRADING.
 8. CONSTRUCT TEMPORARY DIVERSION CHANNELS AS REQUIRED.
 9. INSTALL PROPOSED UTILITIES.
 10. INSTALL INLET PROTECTION ON ALL PROPOSED CATCH BASINS.
 11. FINALIZE PAVEMENT SUBGRADE PREPARATION.
 12. CONSTRUCT ALL CURB AND GUTTER, GUTTER INLETS, AREA INLETS, AND STORM SEWER MANHOLES, AS SHOWN ON THE PLANS. INLET PROTECTION MAY BE REMOVED TEMPORARILY FOR THIS CONSTRUCTION. PLACE REQUIRED RIPRAP AT LOCATIONS SHOWN ON THE PLAN.
 13. REMOVE INLET PROTECTION AROUND INLETS AND MANHOLES NO MORE THAN 48 HOURS PRIOR TO PLACING STABILIZED BASE COURSE.
 14. INSTALL BASE MATERIAL AS REQUIRED FOR PAVEMENT.
 15. CARRY OUT FINAL GRADING AND SEEDING AND PLANTING.
 16. INSPECT AND CLEAN DRAINAGE SYSTEM.
 17. INSTALL SUB DRAINS IN STORMWATER BASINS.
 18. REMOVE EROSION CONTROL DEVICES WHEN ALL DISTURBED SURFACES HAVE BEEN STABILIZED WITH FINAL VEGETATIVE COVER. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED.
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN ESTABLISHED.
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

- GENERAL NOTES:**
1. THE SITE PLAN DEPICTS THE REQUIRED SOIL EROSION CONTROL MEASURES. THE GENERAL AND/OR SITE SUBCONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:
 - A. SOIL EROSION IS KEPT TO A MINIMUM.
 - B. NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPERTY.
 - C. ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES EVEN BEYOND THE DETAILS SHOWN ON THIS PLAN IF NECESSARY.
 2. THE GENERAL AND/OR SITE SUBCONTRACTOR IS RESPONSIBLE FOR ALL SILTATION RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES OR WATER BODIES DURING CONSTRUCTION AS A RESULT OF THIS PROJECT.
 3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTHWORK OPERATIONS. THE STORMWATER BASIN SHALL BE USED AS A SEDIMENT BASIN DURING CONSTRUCTION. ADDITIONAL TEMPORARY SEDIMENT BASINS SHOULD BE CONSTRUCTED, BEYOND THOSE SHOWN ON THIS PLAN, AS SITE CONDITIONS WARRANT ADDITIONAL PROTECTION FROM SEDIMENT TRANSPORT.
 4. FOLLOW MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF SILTATION BARRIERS. SILTATION BARRIERS MUST BE ANCHORED TO THE GROUND, REFER TO SILTATION BARRIER DETAILS (OTHER SHEET).
 5. THE STORMWATER BASIN TO BE USED AS SEDIMENT BASIN SHALL BE CONSTRUCTED TO THE GRADES AS SHOWN ON THE PLANS EXCEPT THAT THE EXCAVATION OF THE BOTTOM 1-FT BE DONE AFTER THE SITE HAS BEEN STABILIZED. CARE SHALL BE TAKEN TO LIMIT CONSTRUCTION VEHICLES FROM OPERATING WITHIN THE BASIN TO PREVENT EXCESSIVE COMPACTION. THE BASIN SUB DRAIN SHOULD NOT BE INSTALLED UNTIL SITE SEDIMENT IS NO LONGER DIVERTED TO THE BASIN. THE SLOPES OF THE BASIN SHOULD BE CHECKED REGULARLY TO ENSURE IT IS STRUCTURALLY SOUND AND NOT DAMAGED BY EROSION. THE SEDIMENT SHOULD BE REMOVED ONCE 8" OF SEDIMENT HAS ACCUMULATED ABOVE THE BOTTOM GRADE OF THE BASIN. IN NO CASE SHOULD THE SEDIMENT LEVEL BE ALLOWED TO BUILD UP TO ONE FOOT (1') OR 25% OF THE DESIGN CAPACITY, ABOVE THE BOTTOM GRADE OF THE BASIN.
 6. THE GENERAL AND/OR SITE SUBCONTRACTOR SHALL MAINTAIN SEDIMENTATION AND EROSION CONTROL DEVICES THROUGHOUT THE PROJECT SITE FOR THE DURATION OF THE CONSTRUCTION.
 7. INSPECT SOIL EROSION MEASURES WEEKLY AND AFTER RAINFALL EVENTS OF 1/2 INCH OR GREATER. MAKE ALL NECESSARY REPAIRS TO FACILITIES AS SOON AS POSSIBLE BUT NO LONGER THAN TWO DAYS. CLEAN AND RESET SILTATION BARRIERS WHICH ACCUMULATE SEDIMENT ONCE THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF THE SILTATION BARRIERS.
 8. ALL SLOPES STEEPER THAN 2:1 ARE TO BE IMMEDIATELY STABILIZED UPON FINAL GRADING WITH EROSION CONTROL BLANKETS.
 9. ALL DITCHES AND SWALES TO BE STABILIZED PRIOR TO DIRECTING RUN-OFF TO THEM.
 10. ALL SWALES AND DITCHES WITH SLOPES EXCEEDING 5% SHALL BE TREATED WITH JUTE MATTING.
 11. SHOULD CONSTRUCTION STOP FOR LONGER THAN 14 DAYS, THE SITE SHALL BE SEEDDED AS SPECIFIED.
 12. LOAM AND SEED ALL DISTURBED AREAS AT THE EARLIEST TIME POSSIBLE. USE WINTER SEED RATES AND SPECIFICATIONS IF APPROPRIATE.
 13. PRIOR TO CONVERTING SEDIMENT BASIN TO STORMWATER BASIN, ALL DISTURBED AREAS SHOULD BE STABILIZED AND ACCUMULATED SEDIMENT REMOVED FROM THE BASIN. NO SEDIMENT IS ALLOWED TO ERODE FROM THE SITE OR BE FLUSHED INTO A STREAM OR DRAINAGEWAY. THE REMAINING EXCAVATION OF THE STORMWATER BASIN AND ANY RESTORATION OF THE BOTTOM OF THE BASIN TO PROVIDE A CLEAN INFILTRATION SURFACE CAN BE DONE ONCE THE SITE HAS BEEN STABILIZED. THE SLOPES OF THE BASINS SHOULD THEN BE LOAMED AND SEEDDED IN ACCORDANCE WITH PERMANENT SEEDING SCHEDULE AND REQUIRED RIPRAP AREAS SHOULD BE INSTALLED.
 14. TO MINIMIZE WIND EROSION AND CONTROL DUST, CONTRACTOR SHOULD DISPENSE WATER OVER EXCAVATION AND FILL AREAS.

- WINTER CONSTRUCTION NOTES:**
1. ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY NOVEMBER 15, OR WHICH ARE DISTURBED AFTER NOVEMBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING. ELSEWHERE, THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
 2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY NOVEMBER 15, OR WHICH ARE DISTURBED AFTER NOVEMBER 15, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN.

- GENERAL SEEDING NOTES:**
1. USE PERMANENT SEED MIXES AND RATES BETWEEN 5/15 AND 9/30
 2. USE TEMPORARY SEED MIXES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXES AND RATES BETWEEN 10/01 AND 5/14, RE-SEED WITH PERMANENT SEED MIX AFTER 5/15.
 3. SEED BED PREPARATION:
 - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM
 - THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED.



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SCALE:	1"=40'
DATE:	AUGUST 15, 2016
SHEET NUMBER:	6 OF 10
JOB NUMBER:	13334
PLAN NUMBER:	30-D-40A
FIELD BOOK REF(S):	

NO.	DESCRIPTION	DATE	BY

PROPOSED EROSION CONTROL PLAN
FOR
274 PROSPECT STREET
IN
LUNENBURG, MASSACHUSETTS

PREPARED FOR:
APPLE TREE REALTY TRUST
ALEXIS HACHEY, TRUSTEE
96 EXCHANGE STREET
LEOMINSTER, MASSACHUSETTS 01453

WHITMAN & BINGHAM
ASSOCIATES
REGISTERED ENGINEERS & LAND SURVEYORS

50 MECHANIC STREET
LEOMINSTER, MA 01453
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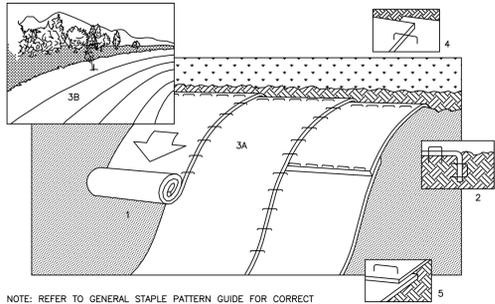
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LUNENBURG PLANNING BOARD

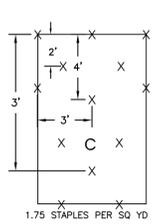
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EROSION CONTROL JUTE MATTING

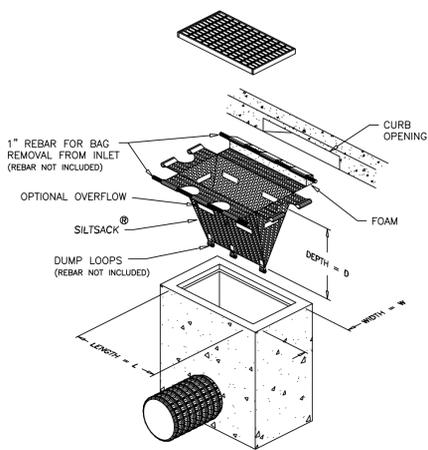
SLOPE INSTALLATION



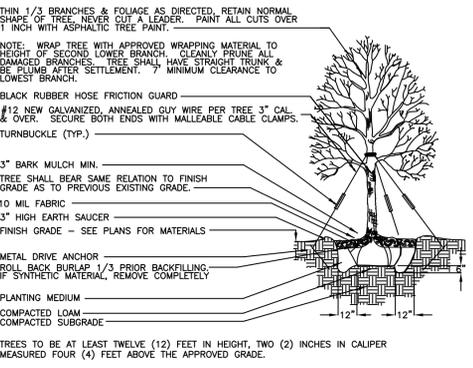
STAPLE PATTERN GUIDE



- NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE.
 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
 5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.



SILTSACK OR EQUAL

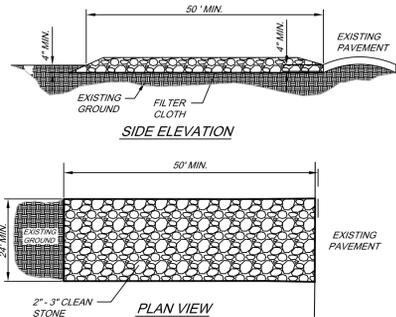


TYPICAL DECIDUOUS TREE PLANTING DETAIL
SCALE: N.T.S.

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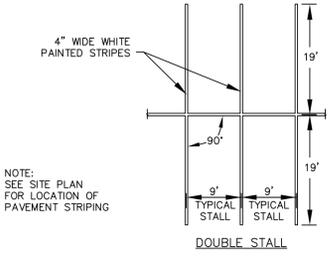
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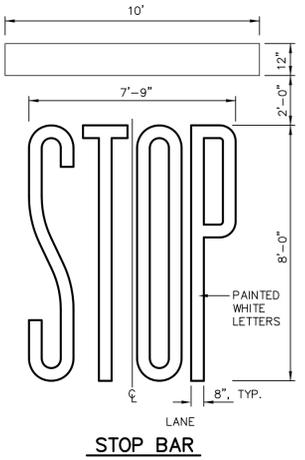


- CONSTRUCTION SPECIFICATIONS**
1. STONE - USE COARSE AGGREGATE (2 - 3 INCH STONE)
 2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
 3. THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
 4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
 6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 7. 12' X 24' METAL GRATE MAY BE USED. GRATE SHALL BE 25' AWAY FROM PAVEMENT AND APPROPRIATE SEDIMENT CONTROL TRAPPING DEVICE SHALL BE USED AT GRATE OUTLET POINT.

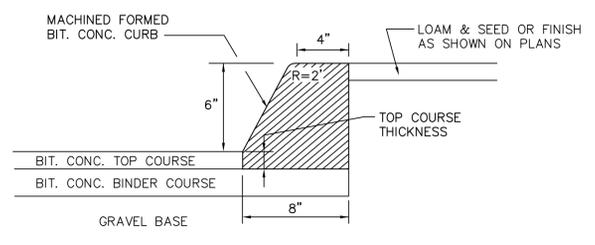
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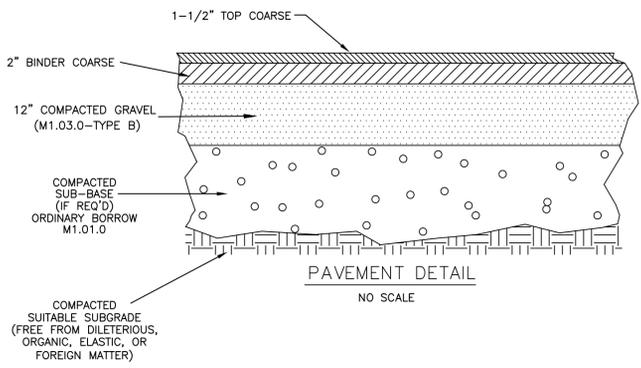
PAVEMENT MARKING
NOT TO SCALE



STOP BAR



BIT. CONC. CURB DETAIL
NOT TO SCALE

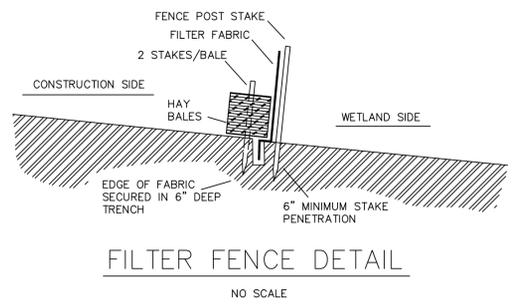
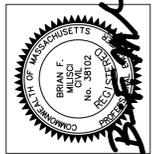


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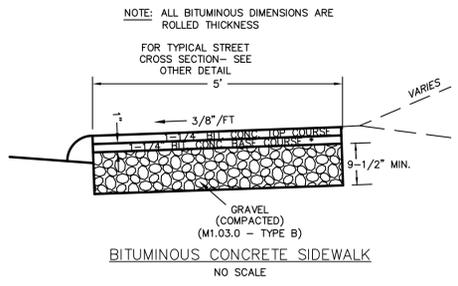
THIS SPACE NOT USED

CONSTRUCTION DETAILS
FOR
274 PROSPECT STREET
IN
LUNENBURG, MASSACHUSETTS

PREPARED FOR:
APPLE TREE REALTY TRUST
ALEXIS HACHEY, TRUSTEE
96 EXCHANGE STREET
LEOMINSTER, MASSACHUSETTS 01453



FILTER FENCE DETAIL
NO SCALE



BITUMINOUS CONCRETE SIDEWALK
NO SCALE

THIS SPACE NOT USED

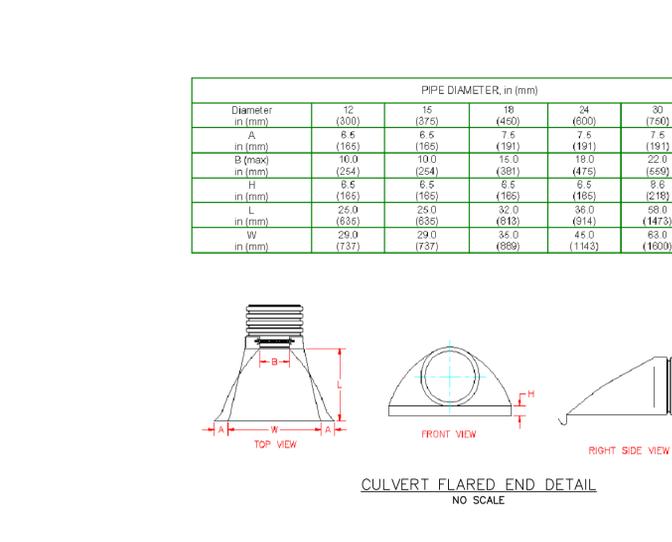
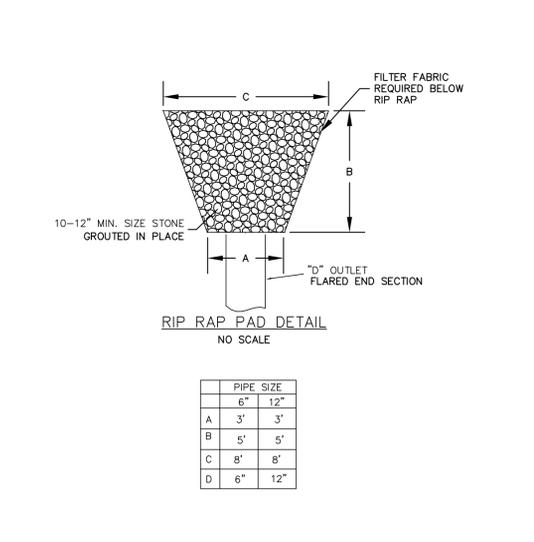
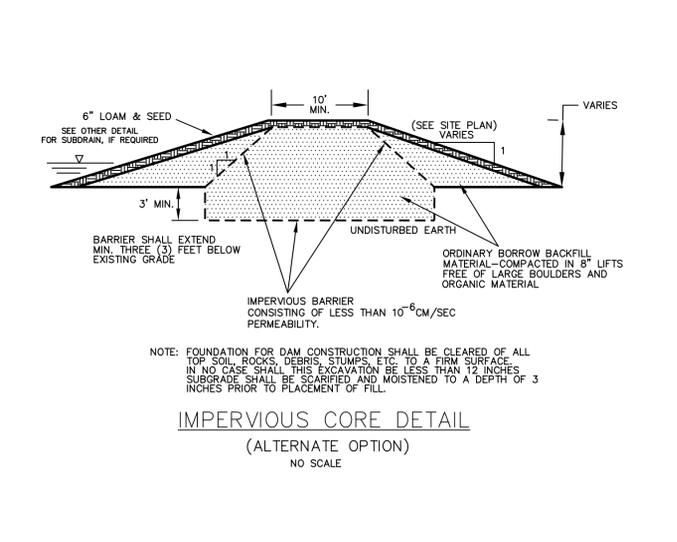
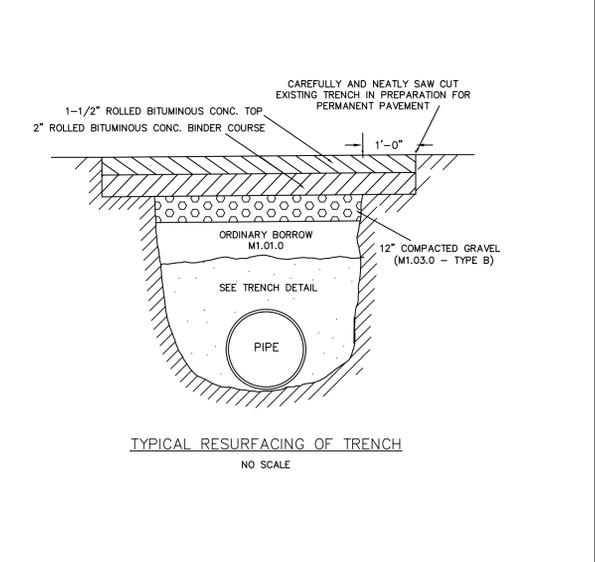
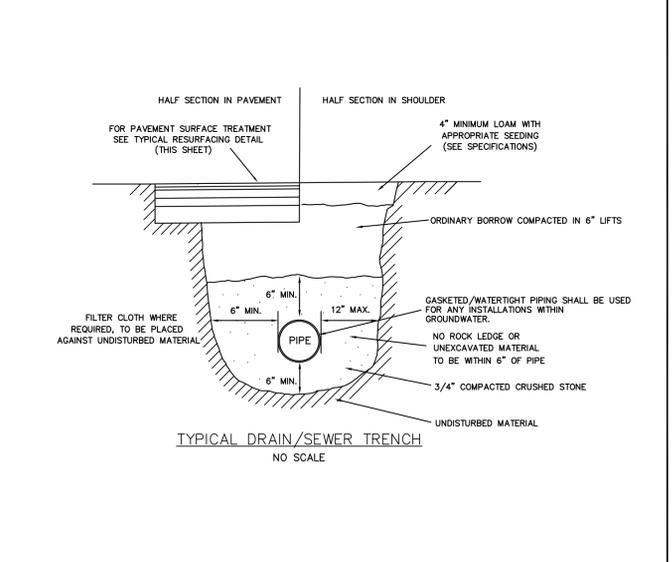
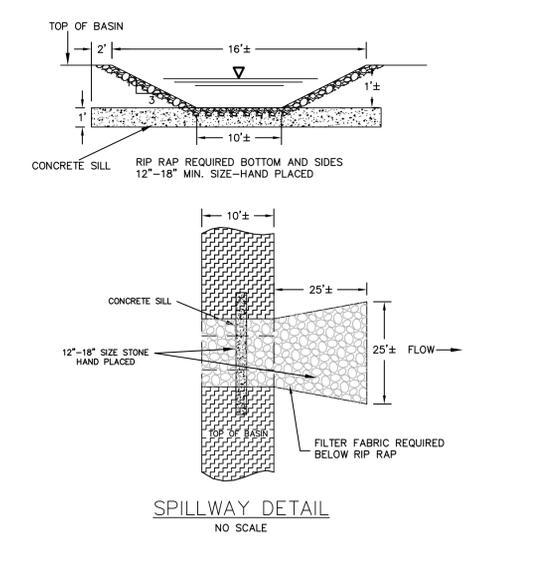
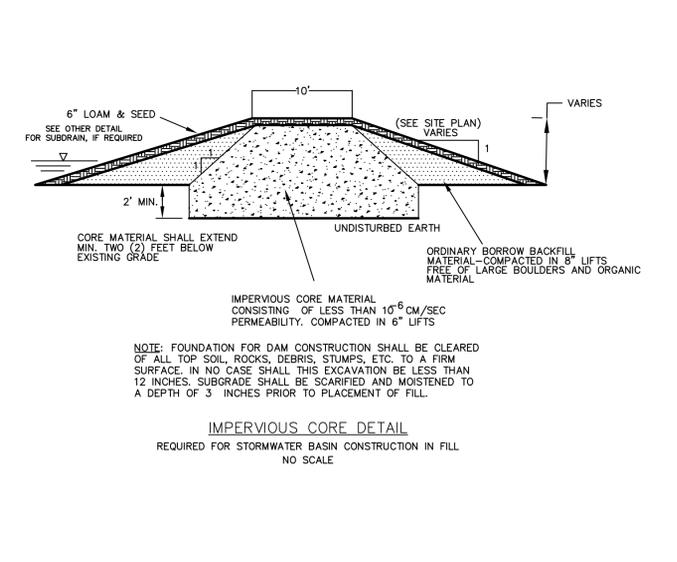
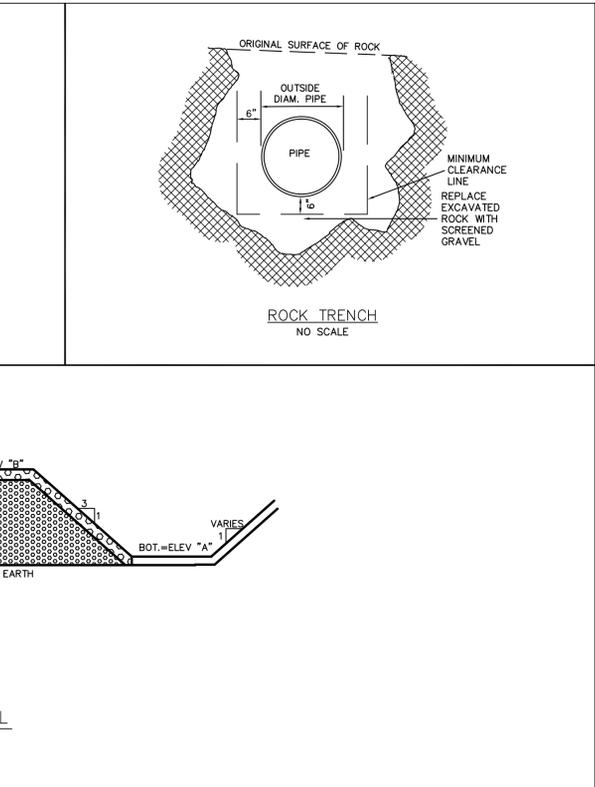
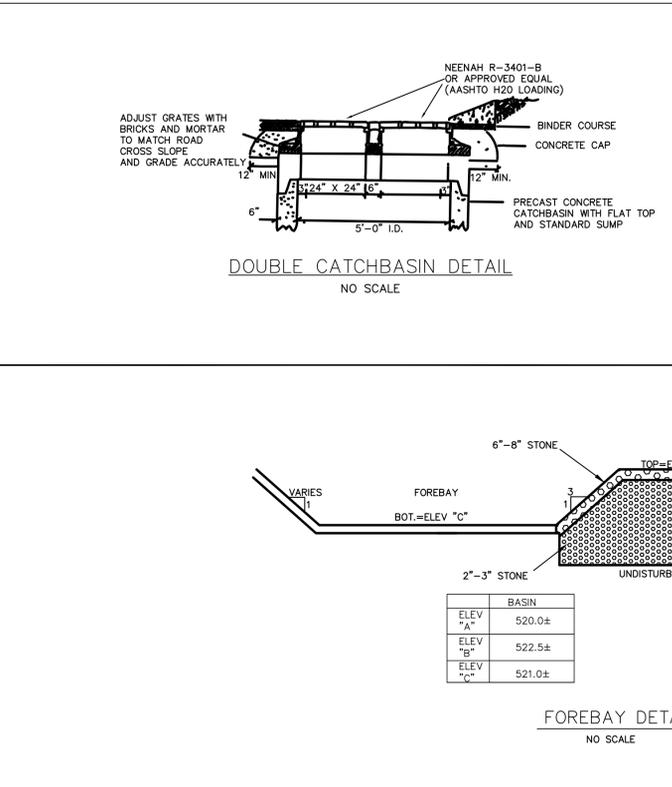
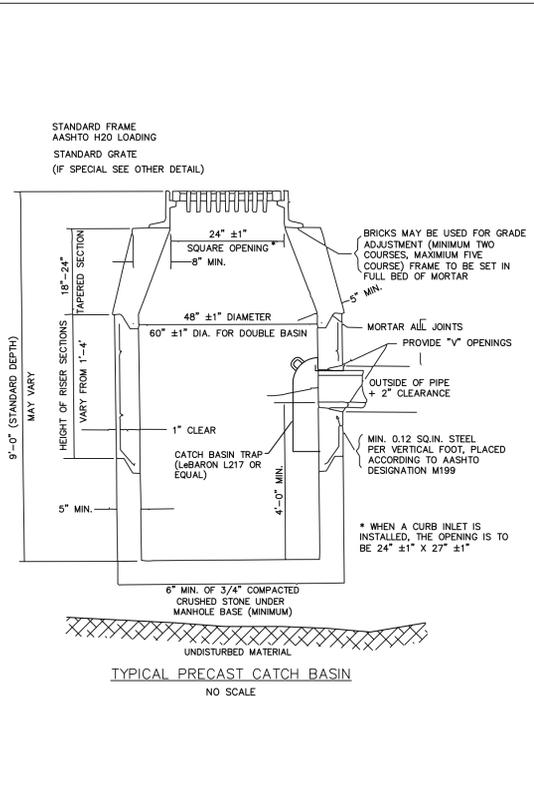
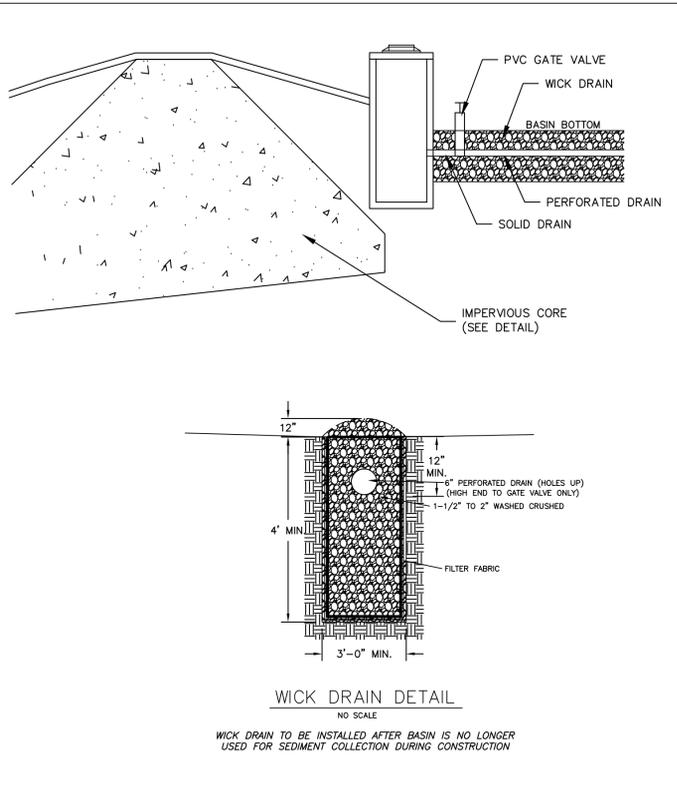
APPROVED AS SUBMITTED _____
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LUNENBURG PLANNING BOARD

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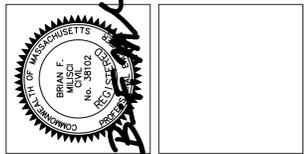
LUNENBURG PLANNING BOARD

DATE: _____

CHECKED BY:	BFM
SCALE:	AS NOTED
DATE:	AUGUST 15, 2016
SHEET NUMBER:	9
OF	10
JOB NUMBER:	13334
COMPS:	9087
PLAN NUMBER:	30-D-40A
FIELD BOOK REF(S):	
DRAWN BY:	WRF
REVISIONS	
NO.	
DESCRIPTION	
DATE	
BY	

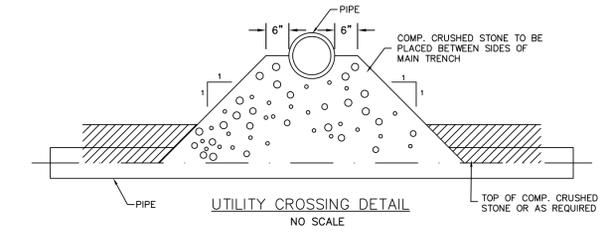
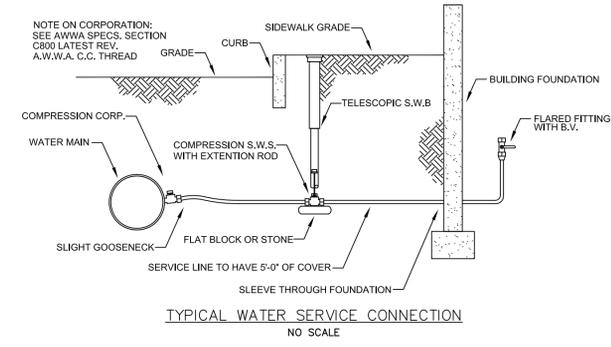
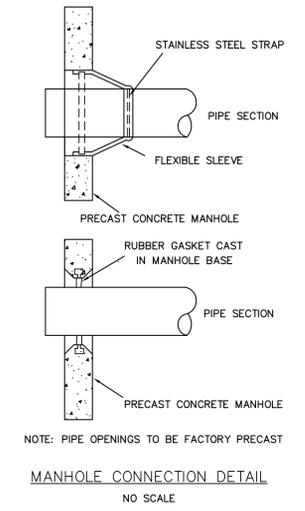
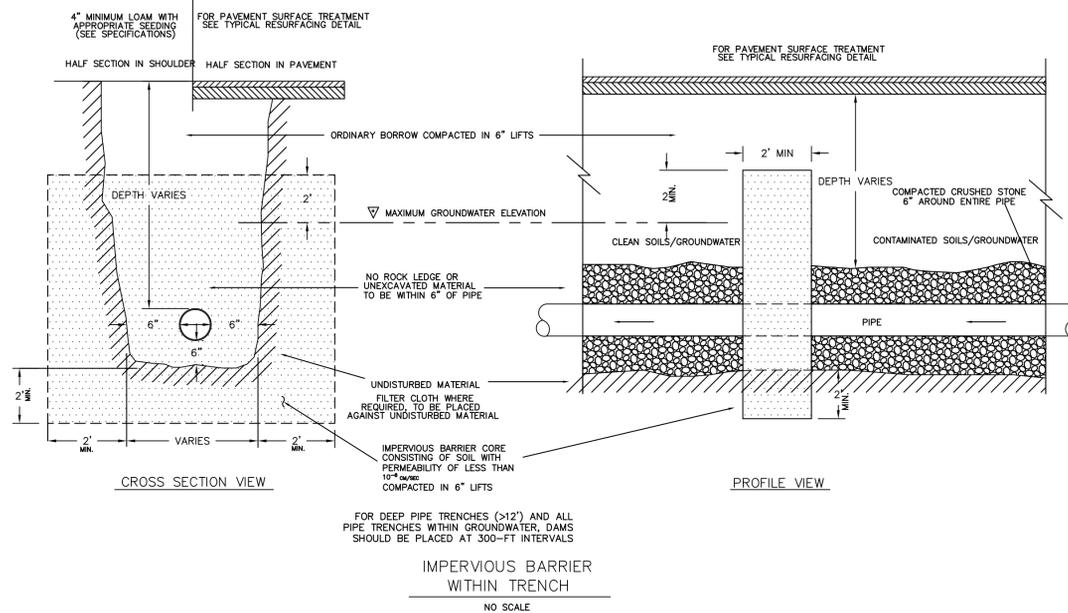
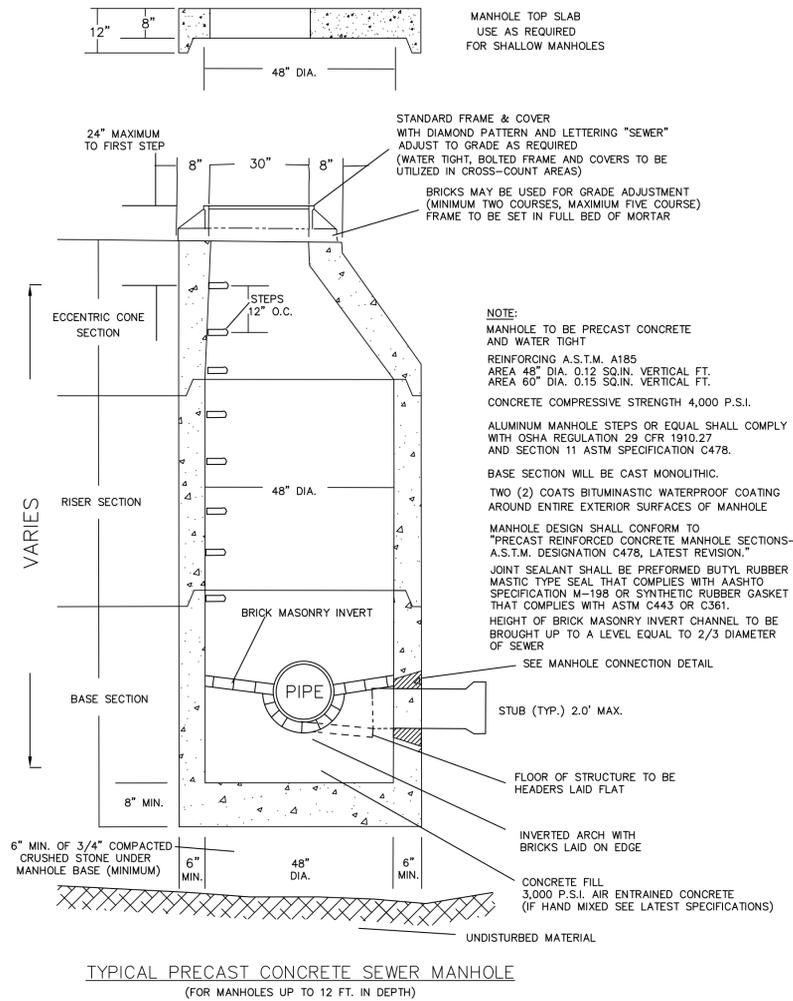
CONSTRUCTION DETAILS
FOR
274 PROSPECT STREET
IN
LUNENBURG, MASSACHUSETTS

PREPARED FOR:
APPLE TREE REALTY TRUST
ALEXIS HACHEY, TRUSTEE
96 EXCHANGE STREET
LEOMINSTER, MASSACHUSETTS 01453

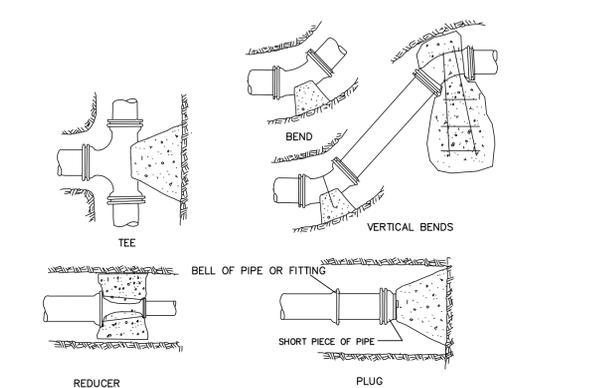
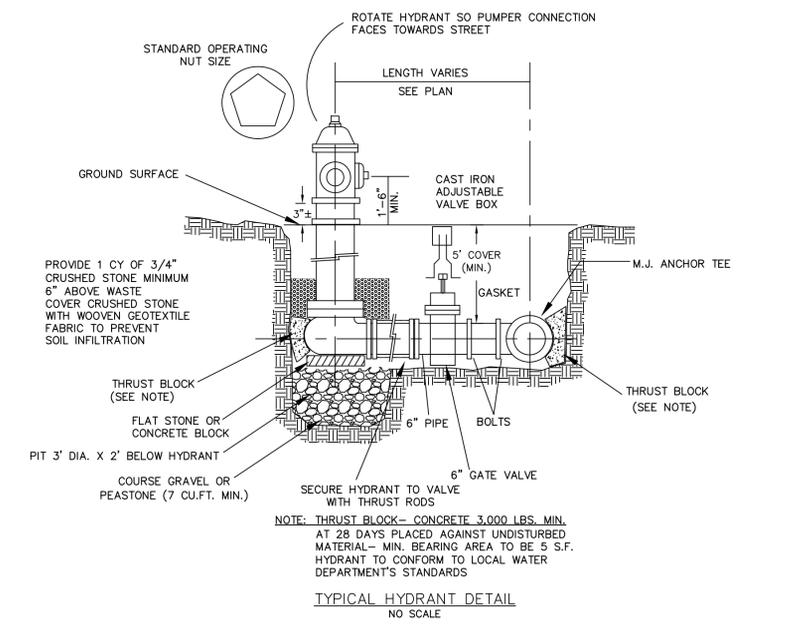


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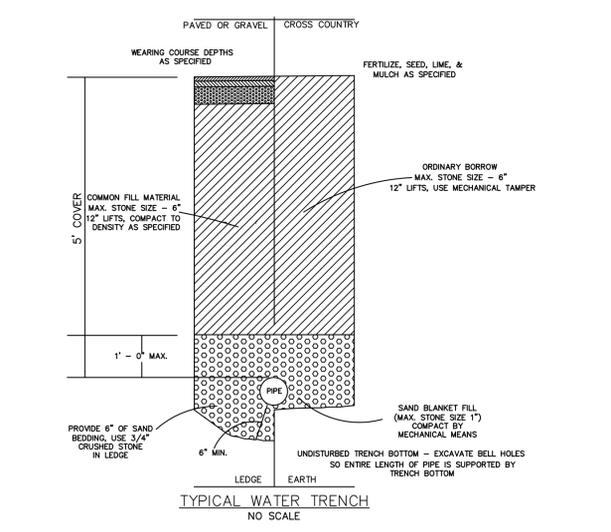


THIS SPACE NOT USED



PIPE SIZE	MIN. SURFACE BEARING AREA (S.F.) OF CONC. AGAINST UNDISTURBED EARTH			
	90°	45°	SMALLER 45° GREATER 90°	BRANCH OF TEE DEAD END
6"	4	2	2	4
8"	7	4	3	5
10"	9	6	5	7
12"	12	9	6	9

- ALL BENDS, TEES, WYES, HYDRANTS, & DEAD ENDS
- BEARING AREA IS AREA OF CONCRETE IN CONTACT WITH WALL OF TRENCH = H x L.
- HEIGHT (H) & LENGTH (L) AS REQUIRED TO OBTAIN BEARING AREA IN TABLE.



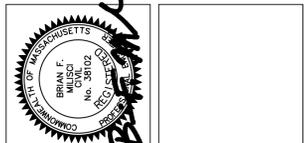
THIS SPACE NOT USED

APPROVED AS SUBMITTED _____
 APPROVED WITH CONDITIONS _____
 APPROVED WITH REVISIONS _____
 LUNENBURG PLANNING BOARD
 DATE: _____

CHECKED BY: BFM	SCALE: AS NOTED	JOB NUMBER: 13334	PLAN NUMBER: 30-D-40A	FIELD BOOK REF(S):
DRAWN BY: WRF	DATE: AUGUST 15, 2016	SHEET NUMBER: 10 OF 10	COMPS: 9087	PLAN REF(S):
REVISIONS				BY
				DATE
				DESCRIPTION
				NO.

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 FOR
 274 PROSPECT STREET
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